Edith Weston Parish Council

Village Assessment & Design Guidance

ar urbanism

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Final	Ioana Gherghel (ARU)	Amanda Reynolds (ARU)	10/01/2022	Locality	13/01/2022

List of contents

1 Introduction

1.1. Background

1.1.1.   Edith Weston Neighbourhood Planning Group (EWNPG) has engaged with AR Urbanism (ARU) in preparation of this report. This first section of the report is a baseline analysis of the physical and historic environment which informs the design guidance and principles for new development within the Neighbourhood Plan boundary outlined in the second section of this report.

1.1.2.   The first section provides analysis of the parish of Edith Weston within its national, regional and local context. The content considers the physical and temporal components of the village and its surrounding landscape, its heritage and historic development, and the interplay of economic and social influences on the form and character of the parish.

1.1.3.   Working with the members of the EWNPG the report then considers the views and objectives of the people who live and work in the village, placing them in the context of its history and new and future development. The greatest challenge in this process is reflecting the change incurred by the potential establishment of St George's Barracks Garden Village (SGB).

1.1.4.   The potential SGB development causes very significant concern among the community but EWNPG accepts that if the SGB settlement does go ahead, the Neighbourhood Planning process offers a greater opportunity to influence its direction of change. The guidance and codes in this report are a mechanism through which the community plays an active, creative and civic role in the future character of their village and surrounding landscape within the parish.

1.1.5.   In the current pandemic and climate/extinction emergency the interdependence of the natural and man-made environments has become increasingly apparent. Many of the issues expressed in the Edith Weston placechecking survey (2021) reflect an interest and desire for a deeper relationship with the natural environment and a concern about the effects of increased development.

1.1.6.   The Neighbourhood Planning process and programme, of which this research and report is a part, offer the opportunity for the community to become engaged. Through an understanding and appreciation of the environment the village can play its part in tackling the key issues of climate change, species extinction, environmental degradation, mental and physical well being, the and economic challenges.

1.1.7.   AR Urbanism has been commissioned by Locality on behalf of Edith Weston Parish Council in March 2021 to develop Design Guidance and a framework that would inform best practice development within the neighbourhood planning area. Locality is a national community support organisation with funding from national government to provide specialist advice and services.

1.1.8.   The following analysis was produced to reflect the parish's physical and historic context. This baseline analysis was used to develop a series of strategic design codes that align with the vision outlined within the emerging Neighbourhood Plan.

1.1.9.   The document is structured as follows:

1   Introduction
2   Regional Analysis
3   Local Analysis
4   Design Codes: Residential Infill Development
5   Design Codes: Development Sites
6   Annex: SGB Masterplan

Fig. 1.1   View of St Mary's church spire
Views of the church tower and spire create a gravitational focus from all sides of Edith Weston village.
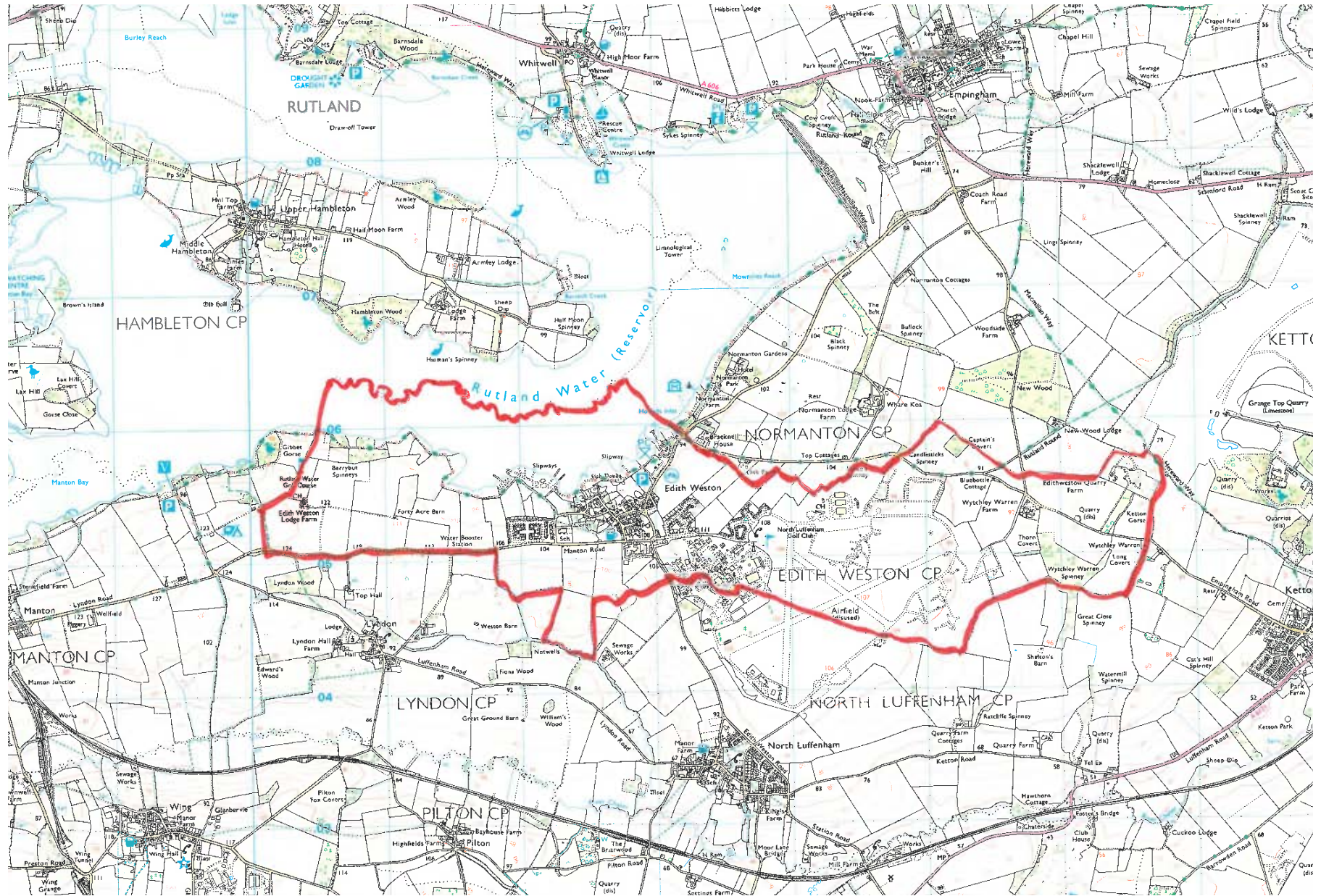
Fig. 1.2   Edith Weston parish map
OS map 1:25,000 showing the parish boundary

1.2.   Planning Framework

1.2.1.   The National Planning Policy Framework legislation introduced by the Government in 2012 and revised in 2021, set up the framework for the Neighbourhood Planning process. The policy offers local communities more influence in the direction of change of new development, increasing engagement and the potential quality of new buildings and public realm.

Rutland Local Plan Review

1.2.2.   At a Special Council Meeting on 1st September 2021 the Rutland County Council (RCC) voted to withdraw the emerging Local Plan 2018-2036. Prior to this vote and at the time that ARU prepared this report the consultation on the Local Plan had recently concluded and the draft submitted to the Government inspector. The draft plan was setting out Rutland's planning policies and allocated development sites over the period 2018 to 2036. The review was meant to extend the 2014-2026 plan.

1.2.3.   In February 2020 the Council had approved the pre-submission Local Plan to proceed to the formal Regulation 19 public consultation stage. This ran for 10 weeks between August and November 2020.

1.2.4.   The Local Plan sets a framework for future growth in the county, identifying the level of need and locations for new housing, employment, and retail development. The Local Plan also includes specific policies which guide the design, scale, impact and location of new development and infrastructure, as well as policies related to protecting and enhancing heritage assets, the environment, town centres and rural areas.

1.2.5.   A Special Planning Document (SPD) prepared by AECOM in 2019 for South Kesteven and Rutland County Councils sets an overall framework for design principles, guidance and codes in the two counties. The document was put out to consultation in January 2021 and is expected to be adopted later in the year.

1.2.6.   The St George's Barracks Garden Village site formed a key part of the Rutland site allocation for new housing (SHELAA) development prior to the 1st of Sep meeting. At the moment the LP withdrawal means SGB is not an allocated development site anymore, however, it is possible that the future LP review will allocate it again, although it may contain different parameters.

1.2.7.   The intended SGB development was a joint venture between the Ministry of Defence (MoD) and Rutland County Council. Most of the SGB development and adjoining landscapes fall within the parish boundaries of Edith Weston and North Luffenham.

Neighbourhood Plan

1.2.8.   Neighbourhood planning gives communities direct power to develop a shared vision for their neighbourhood and shape the development and growth of their local area. Representatives of the community are able to choose where they want new homes, shops and offices to be built, have their say on what new buildings should look like, what infrastructure should be provided and grant planning permission for the new buildings

they want to see go ahead. Neighbourhood planning provides a powerful set of tools for local people to plan for the types of development to meet their community's needs and to align the ambition of the neighbourhood with the strategic needs and priorities of the wider local area.

1.2.9.   The Neighbourhood Plan enables the local community to adopt site specific policies, but these must all sit within the overall framework of national and regional policy.

1.2.10.   Edith Weston PC undertook and completed a previous Neighbourhood Plan in 2012 soon after the legislation was introduced. This was adopted in 2014 following consultation with the village. The site of St George's Barracks was excluded from this plan.
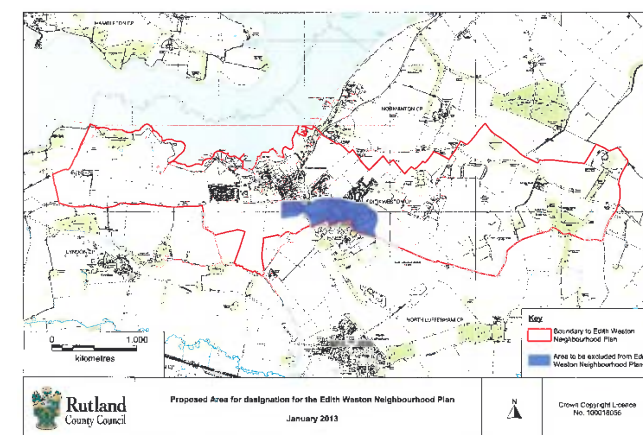

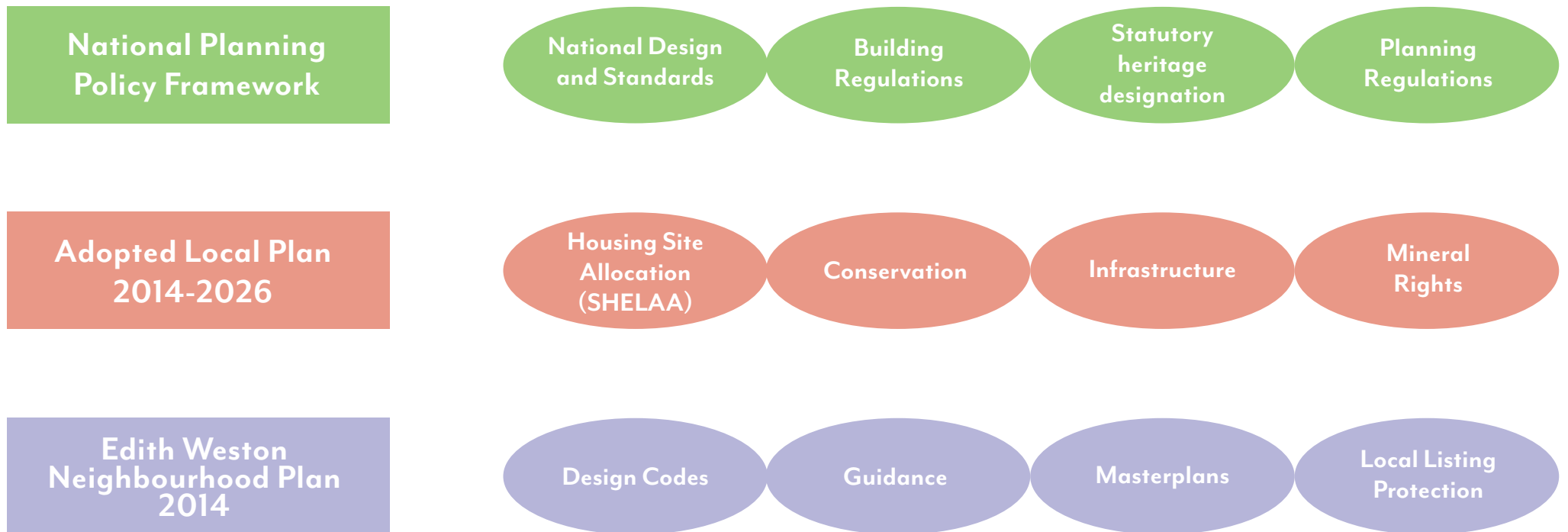Fig. 1.3   Map of 2014 Edith Weston Neighbourhood Plan Area

National Planning Policy Framework	National Design and Standards	Building Regulations	Statutory heritage designation	Planning Regulations
Adopted Local Plan 2014-2026	Housing Site Allocation (SHELAA)	Conservation	Infrastructure	Mineral Rights
Edith Weston Neighbourhood Plan 2014	Design Codes	Guidance	Masterplans	Local Listing Protection

Fig. 1.4   Planning Framework

1.3.   Neighbourhood Plan Context

1.3.1.   The Edith Weston Neighbourhood Area was designated in 2014. The boundary follows the parish border. This does not include the Parish of Normanton to the north east which in the Anglican Church parish map is included in the Edith Weston parish boundary.

1.3.2.   The boundary follows the River Gwash to the north, now submerged under the reservoir. To the south the boundary is shared with Lyndon and North Luffenham. The parish of Ketton is to the east.

1.3.3.   The two largest neighbours, North Luffenham and Ketton, are both designated as Neighbourhood Plan Areas. Edith Weston developed its Neighbourhood Plan early in the regulatory time frame in 2012, and the current programme will update this. Ketton and North Luffenham are also both currently registered and preparing plans. The status and framework of both neighbours will influence and have a bearing on Edith Weston's updated plan, particularly in relation to any possible development of the SGB site and any associated quarrying activities.

1.3.4.   Engagement with the adjoining villages to agree on shared Design Guidance and policies is recommended and North Luffenham and Edith Weston are collaborating in relation to the SGB masterplan design codes.

1.3.5.   In this rural context the civil parish boundary follows the ecclesiastical parish boundary where the village church is at the centre of the dominant settlement, a hamlet village or town.

St George's Barracks Development

1.3.6.   If developed, and given the projected potential population in the new settlement, it is expected for this new settlement to earn independent governance, once completed. Until then the Garden Village will remain part of Edith Weston and North Luffenham parishes, and therefore will fall within the policy remit of their respective Neighbourhood Plans.

	Pop.	Households	Area miles^2	Pop. Density	NP Status
Edith Weston	1360	372	4.0	338	2012
North Luffenham	675	300	3.2	213	Designated
Ketton	1911	779	5.2	366	Designated
South Luffenham	454	208	2.3	201	
Morcott	329	150	2.1	155	
Pilton	41	16	0.5	75	
Lyndon	83	40	1.4	75	

Fig. 1.5   Statistical information based on 2011 census

1.   Uppingham
2.   Edith Weston
3.   Langham
4.   Cottesmore
5.   Greetham
6.   Barrowden & Wakerley
7.   Oakham
8.   Market Overton
9.   Wing

Fig. 1.6   Map of Neighbourhood Plans in Rutland

Fig. 1.7   The Anglican Church parish map

This map shows Edith Weston between North Luffenham and Lyndon to the south, Ketton to the east and Empingham and Hambleton to the north. On this map the Normanton parish is included in the Edith Weston parish boundary.

1.4.   St George's Barracks Development

1.4.1.   Between 1940 and 1998 the plateau to the east of the village was designated as RAF North Luffenham. In the late 1990s the RAF handed the site over to the Ministry of Defence as St George's Barracks. The Barracks and airfield are currently used by the British Army's 1st Military Working Dog Regiment.

1.4.2.   In 2016, the MoD announced its intention to close St George's Barracks (SGB) and redevelop it to provide jobs and housing as part of its Better Defence Estate strategy and to support the Government's housing targets. The MoD and Rutland County Council (RCC) were in a joint venture partnership and the SGB Garden Village was an important element of the emerging masterplan.

1.4.3.   A public consultation was held in 2018 and in response to the feedback the plans for the barracks are evolving.

1.4.4.   At present at least two thirds of the possible new development, the northern part, fall within the parish boundary of Edith Weston. However, it is excluded from the 2012 Edith Weston Neighbourhood Plan Area. The rest of the site falls under the North Luffenham parish boundary.

1.4.5.   The evolving plan proposal was designed to accommodate between 1,500 to 2,500 new households. Numbers had been agreed at 2,200 homes. However, now that the site is no longer allocated due to the withdrawal of the Local Plan, if the site is reallocated at a new review, the potential number of homes is likely to be reconsidered.

1.4.6.   The site was designated as a Garden Village in 2019 by the Ministry for Housing, Communities & Local Government (MHCLG), a status that remains in place despite the fact that

the site is no longer allocated. The plan for a new Garden Village for approximately 2,200 homes was a key element of the new Rutland Local Plan that was due for adoption later in 2021.

1.4.7.   Some revisions were made in response to the 2018 consultation, such as moving the local centre and omitting the satellite development to the east of the site.

Mineral Extraction

1.4.8.   The nearby stone quarries producing Ketton stone to the east of the SGB site were converted into a cement production plant in the 1930's. The quarries have grown to become one of the largest suppliers of cement in the UK. The plant at Ketton is currently owned by Heidelberg and trades as Hanson.

1.4.9.   The whole of the airfield site lies on a limestone plateau, attractive to quarrying and extraction for its cement rather than masonry value.

1.4.10.   The Ketton Parish Council have worked with Hanson to minimise the impact of the quarrying activity on the edge of their village. Some areas of planning gain such as wildlife corridors and walkways have been funded through the quarrying process.
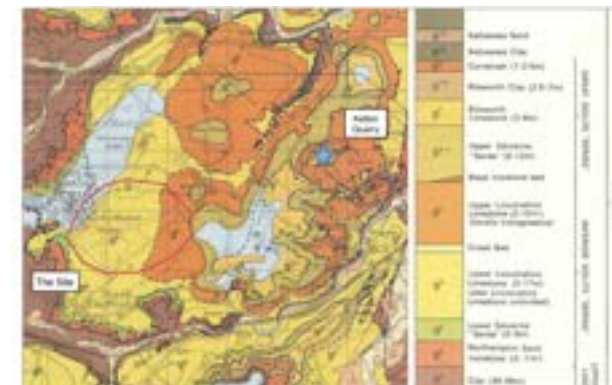
Geological map showing geological sequence around the SGB site

Geology plan showing historic boreholes and their recorded thicknesses, together with the proposed borehole locations for the 2017 site investigation

Fig. 1.8   Geology of the SGB site

- - Parish boundary

Fig. 1.9   Masterplan prepared by RegenCo

Masterplan prepared as part of the Regulation 19 evidence base submission for the withdrawn 2018-2036 Local Plan by Rutland County Council. The parish boundary between Edith Weston and North Luffenham runs east-west through the proposed site for the new Garden Village.

1.5.   Garden Village Programme

1.5.1.   The SGB site is still designated as a Garden Village and is one of 50 similar settlements that aim to set up independent and self sufficient communities in new Garden Villages in England. Many will be located on redundant airfield sites.

1.5.2.   The Garden Village programme has grown from the Garden City concept developed by Ebenezer Howard in 1898 and initially realised in the new towns of Letchworth and Welwyn Garden City.

1.5.3.   A Garden City is a holistically planned new settlement which enhances the natural environment and offers high-quality affordable housing and locally accessible work in beautiful, healthy and sociable communities. The Garden City Principles are an indivisible and interlocking framework for their delivery, and include:

- Land value capture for the benefit of the community.
- Strong vision, leadership and community engagement.
- Community ownership of land and long-term stewardship of assets.
- Mixed-tenure homes and housing types that are genuinely affordable.
- A wide range of local jobs in the Garden City within easy commuting distance of homes.
- Beautifully and imaginatively designed homes with gardens, combining the best of town and country to create healthy communities, and including opportunities to grow food.
- Development that enhances the natural environment, providing a comprehensive green infrastructure network and net biodiversity gains, and that uses zero-carbon and energy-positive technology to ensure climate resilience.
- Strong cultural, recreational and shopping facilities in walkable, vibrant, sociable neighbourhoods.
- Integrated and accessible transport systems, with walking, cycling and public transport designed to be the most attractive forms of local transport.

Fig. 1.10   Aerial view of Letchworth Garden City

Fig. 1.11   Map of Garden Community Programmes in England

1.5.4.   In 2018 the Government launched the "Garden Communities Programme" funding to supersede the "Locally-Led Garden Villages, Towns and Cities" from 2016.

1.5.5.   According to the Ministry for Housing, Communities & Local Government's Garden Communities Prospectus 2018, to be eligible developments must:

- depending on scale, fall under one of the two categories: Garden Town (> 10,000 homes, prioritized over Garden Villages) or Garden Village (1,500 – 10,000 homes, must be particularly strong proposals)
- Demonstrate exceptional quality or innovations
- Be developed on predominantly brownfield sites
- Be in an area of particularly high housing demand or have the ability to expand substantially in the future
- Respond to housing demand
- Have strong local support, engage the community and ideally demonstrate collaboration across local authority boundaries
- Have the following inspired by Ebenezer Howard's Garden City principles:
  - have a clear identity
  - have an attractive centre and public realm
  - be of a sustainable scale

- support infrastructure
- be self-sufficient
- comprise of well-designed places
- foster mixed-use communities, range of local employment types and premises, retail opportunities, recreational and community facilities
- offer great homes
- offer affordable housing & mix of tenures
- have a strong local vision and engagement
- integrate natural and historic environment
- good transport links
- offer easy access to facilities and jobs
- provide healthy places
- provide plenty of green space
- have legacy and stewardship arrangements
- be future proofed

Aerial view of Derwenthorpe Garden Village in York

View of Aylesbury Garden Town in Buckinghamshire

Fig. 1.12   Existing Garden Villages

1.6.   Conservation Designation

1.6.1.   The Edith Weston Conservation Area is described in a study carried out in the early 1980s by Leicestershire County Council called "The Village in the Landscape - Edith Weston"; the original document is held by the RCC. The Conservation Area designation recognises the special historic and architectural character of an area and offers protection under planning laws. Aside from the 1980s LCC document there is no accompanying character appraisal or management plan of the area. This would be a useful area of research to undertake and document.

Local Listings

1.6.2.   Edith Weston has numerous buildings and structures designated for special protection. There are also many buildings and features of historic and architectural interest that do not have legislative protection.

1.6.3.   There are 30 Listed Buildings ranging from the C12 Church to C19 barns. Besides buildings the listed structures include a cross stump, monuments, walls, piers, gates, a telephone kiosk, table tombs and an ice house in the church yard.

1.6.4.   All the listed buildings and structures in Edith Weston are Grade II listed, except for the C12 St Mary's Church, which is Grade I listed.

Site of Special scientific Interest

1.6.5.   The Rutland Water Area immediate to the north of Edith Weston village is a designated SSSI area, but also a RAMSAR and an SPA (Special Protection Area). These designations give the site international importance and high conservation protection.

1.6.6.   The boundary of the Rutland Water Area generally runs about 500m around the reservoir's shorelines, except at Edith Weston where the boundary runs much closer to the reservoir, hence it does not overlap with the village boundary.

Fig. 1.13   Grade II listed Hurstbourne Cottage from C17

Fig. 1.14   The RCC Conservation Area plans in the region

Fig. 1.15   Map of the village

The red line shows the Edith Weston Conservation Area. The blue line indicates the development boundary of the village.

Fig. 1.16   Built heritage map in the village

The filled red shapes indicate statutory listed buildings.

2 Regional Analysis

2.1. Landscape Character

Rutland Landscape Character Assessment

2.1.1. The Landscape Character Assessment (LCA) divides the county of Rutland into five broad areas of landscape character, within which the village of Edith Weston is placed in a hybrid area incorporating the characteristics of High Rutland (A), The Rutland Water Basin and the Rutland Plateau (D).

2.1.2. As the more detailed map indicates (Fig. 2.4), the village falls into the subdivided section of Ridges and Valleys (ii) of the High Rutland character area, the northern part under Rutland Water Basin character area (C), while the eastern part of the parish and the site of St George's Barracks falls under the Ketton Plateau (iv) sub-area of the Rutland Plateau.

Fig. 2.1   View north from Gibbert Lane across the reservoir, landscape character A(ii)

High Rutland Character Area (A)

2.1.3. Much of High Rutland is deeply rural and feels relatively remote. A distinctive feature is the network of narrow gated roads connecting isolated hamlets and farms. The only major roads within the area are the A47 running east to west and the A6003 running north to south, neither of which is seriously visually intrusive in the landscape, but they do create a busier, noisier ambience in the main road corridors.

2.1.4. Land use is a mixture of arable on the flatter and more gently sloping ridge areas, and grassland mainly on the steeper slopes and in the valley bottoms. Ridge and furrow is fairly well distributed throughout the area and reflects the intensity of arable cultivation here in the early Middle Ages. Field ponds are also characteristic. The field pattern is mainly one of regularly shaped fields bounded by thorn hedges with mainly ash, and in a few places oak, as hedgerow trees. These enclosure hedges contrast with the older mixed species hedges that form the more sinuous parish boundaries.

2.1.5. Whilst the Leighfield Forest and Chater Valley sub-areas have remained pastoral and well wooded, elsewhere there has been extensive conversion or reversion to arable with attendant loss of pasture, woodland, field boundaries, hedgerow trees and small pockets of semi-natural vegetation. However, in parts new woodland planting is quite extensive .The Woodland Trust has new plantations between Oakham and Braunston-in-Rutland. Remnants of ancient forest are found to the west and south of the county.

Settlement form and pattern in High Rutland

2.1.6. In addition to Uppingham and the 17 villages in High Rutland there are a number of farmsteads and occasional other buildings in the landscape. Most of the High Rutland villages are located in a belt of denser settlement from Uppingham to North Luffenham and from Rutland Water south to the string of villages on or close to the A47. Braunston-in-Rutland and Brooke are unusual in that they are located close to the river in the bottom of the Gwash valley. Almost all other settlements in High Rutland are located on or close to ridge tops i.e. Ayston, Bisbrooke, Glaston, Ridlington, Wardley and or on high mounds or hills and spilling down the upper slopes eg Belton-in-Rutland, Morcott, North Luffenham and Preston, on a shoulder or crest of land high up the valley slope, but below the ridge top i.e. Lyndon, Pilton and Stoke Dry.

2.1.7. The form of the villages has changed more markedly as a result of 19th and 20th century developments eg Belton-in-Rutland, North and South Luffenham. All of the villages are very distinctive in their character, most are rural, quiet, historic. Most villages are intimate and tightly enclosed, perhaps looking inwards to the street, a village green, open field or church e.g. Ayston, Glaston, Lyndon, Morcott, Pilton Preston, Ridlington, South Luffenham (historic core), Wardley and Wing. Others are more open in character and / or outward looking from elevated positions eg Bisbrooke, Brooke, North Luffenham and Stoke Dry.
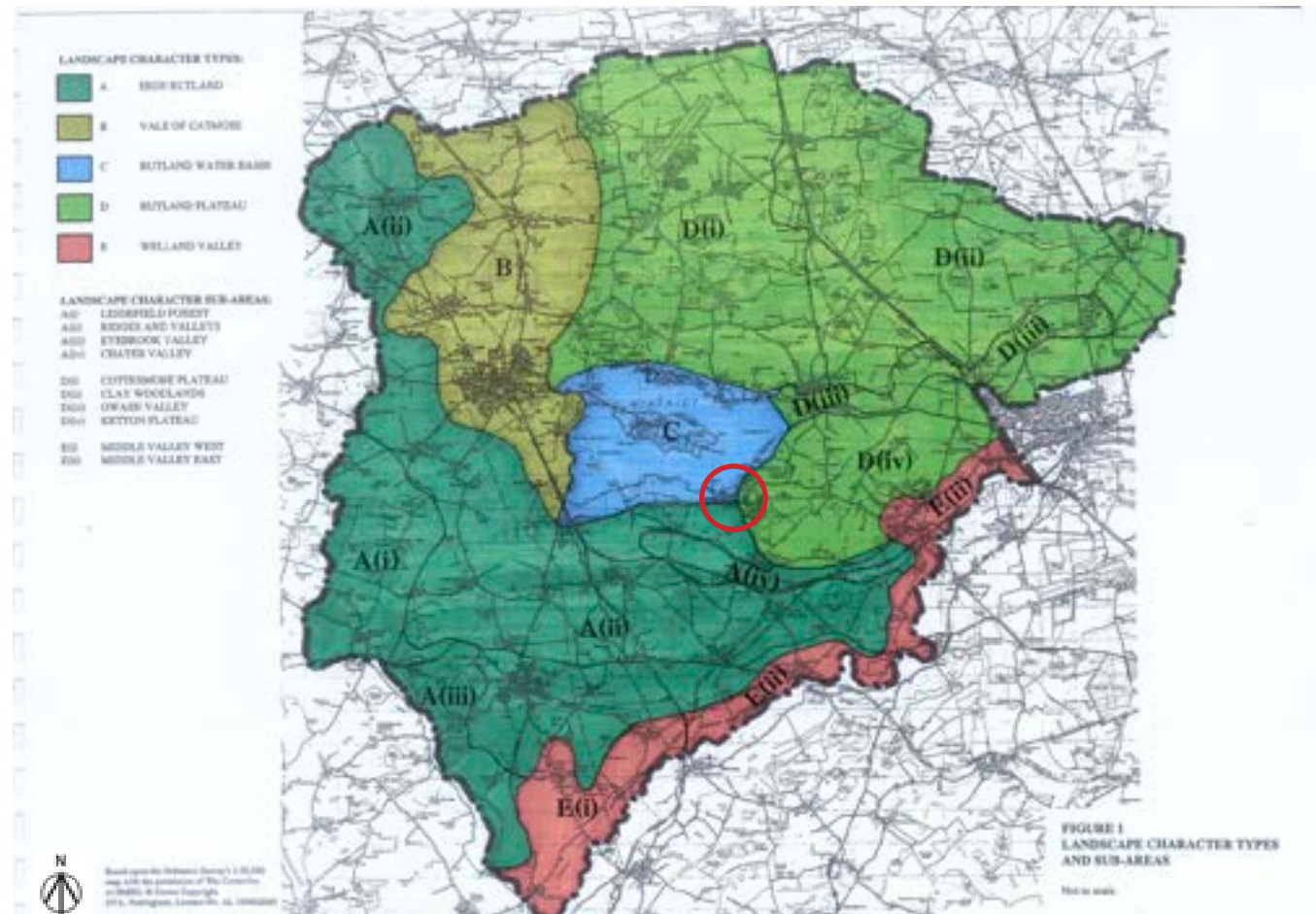
Fig. 2.2   Map of Landscape Character Areas in Rutland
The village of Edith Weston incorporates the characteristics of Rutland Water (C), High Rutland (A) and the Rutland Plateau (D)

2.1.   Landscape Character

Settlement form and pattern in Rutland Water Basin (C)

2.1.8.   All four of the villages that lie within the basin are located around the 90 - 100m AOD contours, well above the reservoir level that always remains below the 85m AOD contour. Thus Edith Weston, Upper Hambleton, Manton and Whitwell have an elevated waterside location, albeit the water is not always visible from the villages. Empingham lies beyond the eastern end of the basin, below the level of the dam, in the Rutland Plateau landscape type. All these settlements retain a high quality historic core and all have seen some later development, some of which has not been sympathetic to the traditional village character, although Upper Hambleton and Whitwell have been less affected in this way. The settlements have seen significant development pressure for residential, business, sport and recreational interests generated by the presence and proximity of the reservoir. The MoD barracks at Edith Weston on the Rutland Plateau have a particularly uncharacteristic and utilitarian appearance visible from the Basin.

The Landscape of Rutland Water Basin

2.1.9.   This landscape character type is unique and dominated by the Rutland Water reservoir. The valley of the River Gwash and its northern tributary, flowing from Oakham, were dammed and flooded to create a major new water storage reservoir, now owned and managed by Anglian Water.

2.1.10.   The flooded valley now has the character of a basin, with the flat expanse of water surrounded by generally low, gently sloping hills to skylines formed by the Rutland Plateau to the north and the High Rutland hills to the south.

2.1.11.   The Rutland Water Basin lies in the Countryside Agency's "Leicestershire and Nottinghamshire Wolds" regional character area and English Nature's "Trent Valley and Rises" Natural Area. Its geology is principally ironstone overlain by glacial till and alluvium.

2.1.12.   For the most part, the reservoir is unobtrusive from many of the surrounding roads as a result of the undulating topography and high level of tree cover around its shores. The openness of this large mass of water is also significantly softened by the presence of the Hambleton peninsula, a long finger of steeply rising land which protrudes deep into the reservoir from the western end. This important landscape feature helps the reservoir to retain a relatively intimate scale despite it being one of the largest man-made water bodies in Great Britain. The flowing landform, surrounding woodlands and the Hambleton peninsula reduce the visual impact of this large artificial landscape feature. Only at the eastern end does the true scale of the reservoir, together with its dam and other infrastructure, become more apparent. The feeling of a large scale landscape is accentuated at the east of the reservoir by the contrast with the lower, enclosed valley below the dam and the exposed, windswept conditions of the open water and dam top.

D (iv) Landscape Character Type viewed across the SGB site

A (ii) Landscape Character Type viewed from Lyndon Rd

C Landscape Character Type viewed along Manton Rd

Fig. 2.3   Landscape Character Types in Edith Weston parish

2.1.13. The landform immediately adjacent to the water varies, but most of the basin has a distinct profile, especially along its southern and northern shores, where the land dips sharply down to the water from a shoulder of high ground, effectively obscuring many views of the water below. Alternatively, along its western shores, the landform is characterised by a very gradual down-slope towards the waters edge, particularly around the village of Egleton. Consequently, for significant parts of the Vale of Catmose west of the reservoir the water is totally obscured by the built and vegetational cover, with vistas towards the Hambleton peninsula containing no visible water.

2.1.14. Established, pre-reservoir trees and woodland and subsequent planned landscaping, particularly around the recreational and interpretation centres at Whitwell and Edith Weston, combine to provide a surprisingly detailed mosaic of pasture and woodland on the shores. Elsewhere, arable land sweeps down to the shores in large, geometric fields with low cut hedges. The shorelines of Rutland Water vary according to the water level but may include water lapping close to the field edges or noticeable patches or strips of mud between the fields and the water.
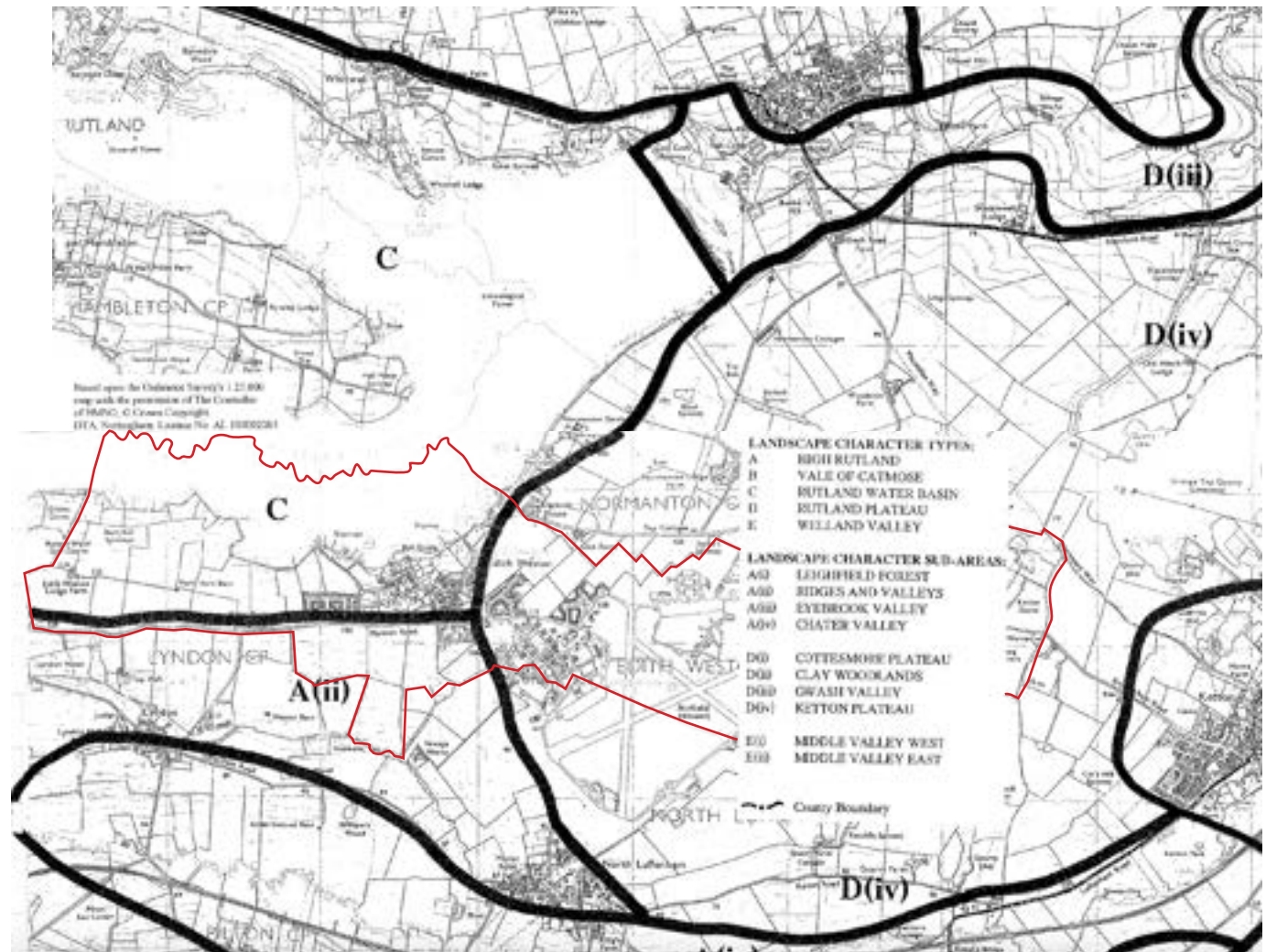

Fig. 2.4   Detail map of Landscape Character Areas around Edith Weston

The red line indicates the Edith Weston parish boundary. The parish falls under the High Rutland Ridges and Valleys A(ii), Rutland plateau Ketton plateau D(iv) and Rutland Water Basin C.

2.1.   Landscape Character

2.1.15.   The water surface varies considerably in accordance with prevailing weather conditions. It is a flat, bright, reflective, light blue, almost glass-like surface with waterfowl dotted about and boats slowly moving on bright sunny days. In windy and cloudy conditions, storms can create substantial wave energy and the surface breaks up into a rough, dark, grey sea. Through most of the year the waterfowl and boating movements are important elements in the landscape and the large bird populations and other wetland species have contributed to the national and international importance of the reservoir for wildlife, recognised by the designation of Rutland Water as a Site of Special Scientific Interest by English Nature, and Government designation as a RAMSAR site and Special Protection Area for birds of international importance.

2.1.16.   Generally, Rutland Water is a large-scale, open, exposed, busy, varied, colourful, modern landscape that is still maturing and evolving from a landscape and ecological point of view.

Rutland Plateau (D)

2.1.17.   The plateau is formed of Jurassic limestone overlaid with glacial till and clay. The limestone geology strongly influences the landscape character, through its distinctive landforms (the plateau, scarp and dip slopes, shallow but quite narrow and steep-sided stream valleys), characteristic building materials, typical limestone ecology of semi-natural, species-rich calcareous grasslands and verges and the frequent occurrence of limestone dust on fields, verges and roads.

2.1.18.   At the Grange Top Quarry at Ketton, the Castle Cement Works represent a large scale modern quarry with a new extension recently permitted, older workings under restoration and an on-site cement manufacturing plant which is locally conspicuous.

2.1.19.   More recently, the area has been important in military terms for providing a flat and sparsely populated landscape suited to the establishment of airfields and associated barracks. At North Luffenham the military installations, as well as including the barracks at Edith Weston and their associated high security fencing and military clutter, are locally intrusive.

2.1.20.   The military development has led to significant loss of tree cover, of older hedgerows and dry stone walling that were integral elements of the previous agricultural landscape on the plateau.

Recommended Landscape Objectives Rutland Plateau

2.1.21.   It is recommended to conserve and manage the parks, avenues and other designed landscapes and the historic mosaic of agriculture, parkland and woodland wherever it occurs and, elsewhere, the more open, elevated, mixed arable and pastoral agricultural plateau landscapes, restoring and reinstating distinctive features such as hedgerows, hedgerow trees, copses, spinneys, dry stone walls and woodlands especially where they would filter views of the airfields, military barracks and mineral and related industrial operations. It is also recommended to conserve and enhance and where possible extend the semi-natural habitats of species-rich, calcareous grasslands and typical limestone woodlands and to conserve historic landscape features.

The edge of airfield on the Limestone Plateau as seen from Pennine Dr

Rutland Water Basin view from Normanton recreation area

The High Rutland ridges and valleys character, looking north towards Edith Weston village from Lyndon Rd

Edith Weston village setttlement form at Well Cross in the historic core

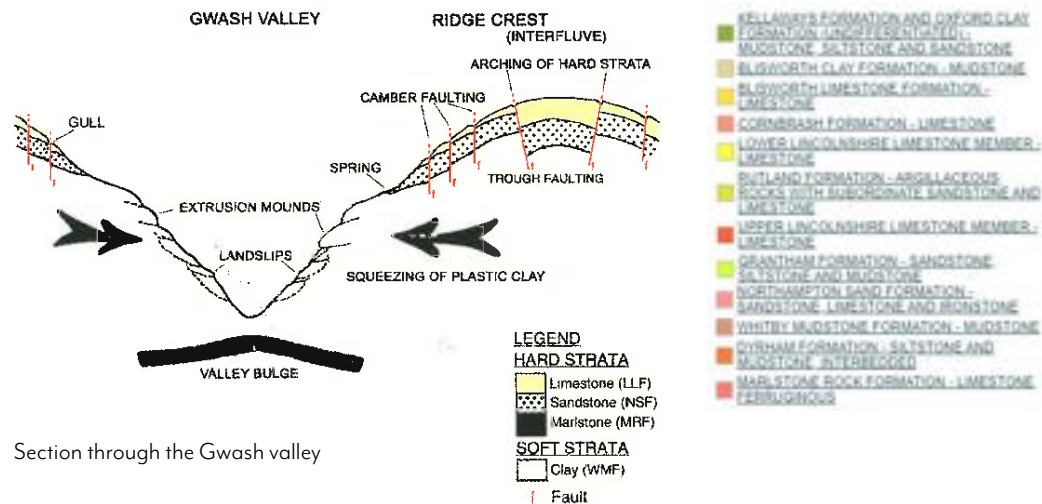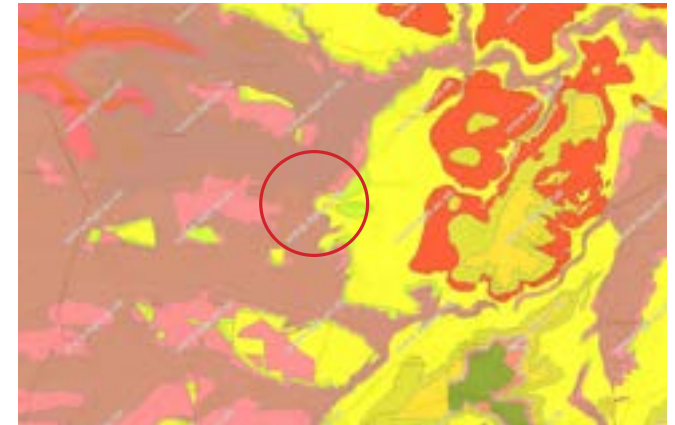Fig. 2.5   Landscapes in Edith Weston parish

2.2.   Geology

2.2.1.   Edith Weston is located to the north of the ridge leading onto the plateau formed of clay and silt residual from the glacial covering. This covers a complex layering of limestone sandstone and iron stone which accounts for the emergence of springs at different levels into the valley of the Gwash. The farms and settlements were formed around these springs, creating ponds for power and water source. The seam of Jurassic limestone stretches from the north east coast at the Humber estuary the length of England to the south coast at Poole.

2.2.2.   The creamy white limestone is an ideal building material, and its use can be traced from the Lincolnshire Wolds Rutland Oxford and the Cotswold through to Bath and Dorset on the south coast of England.

2.2.3.   The limestone plateau to the east of the county is inter cut by river valleys running west/east. The valleys are alluvial soils and clay. Evidence of the Ice Age are found in glacial tills and clay outcrops on top of the limestone.

The village is settled to the north of the ridge between the Chater and Gwash valleys

Section through the Gwash valley

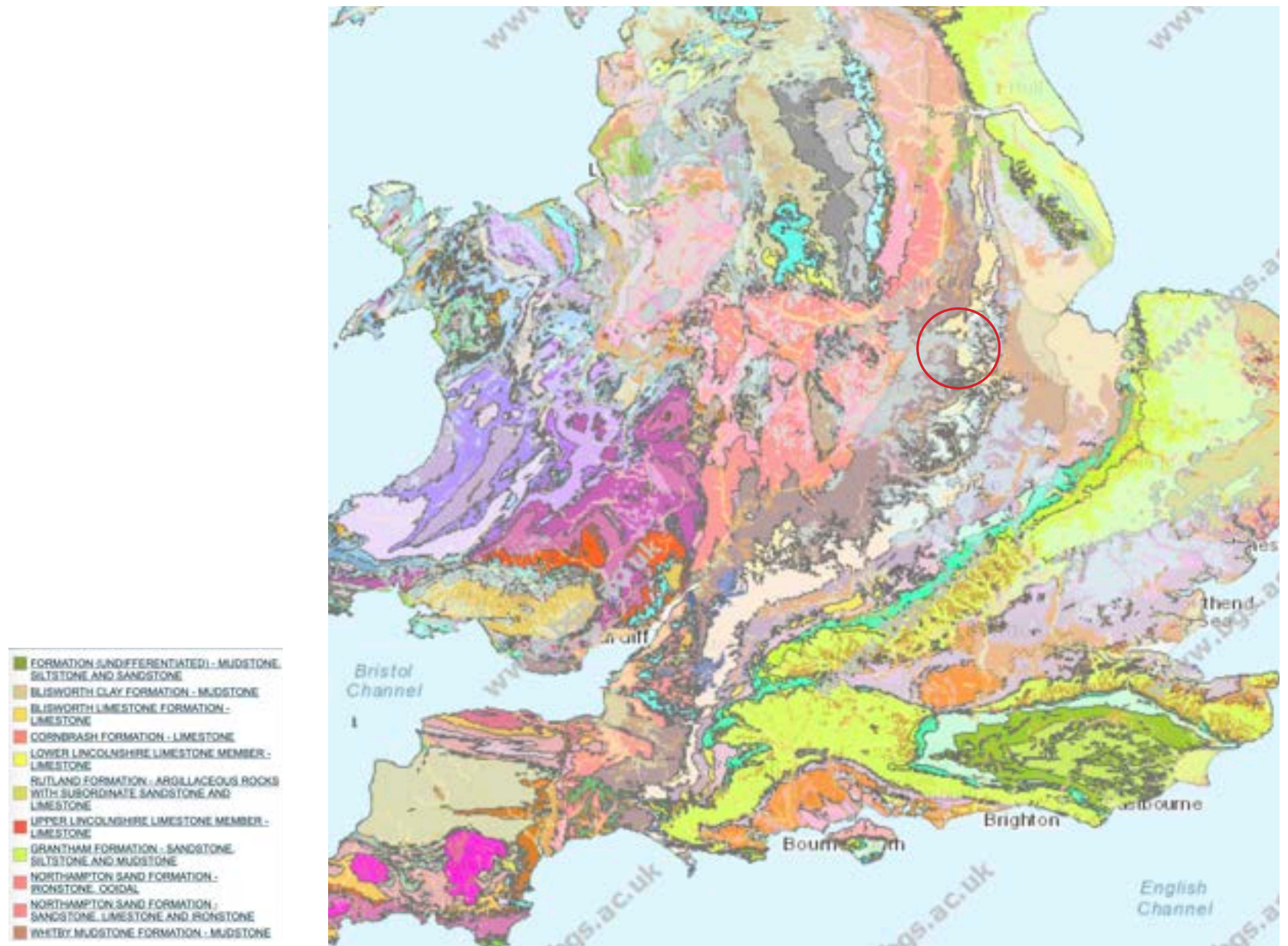Fig. 2.6   Geological maps and section of the Edith Weston area

FORMATION (UNDIFFERENTIATED) - MUDSTONE,
SILTSTONE AND SANDSTONE

BLISWORTH CLAY FORMATION - MUDSTONE

BLISWORTH LIMESTONE FORMATION -
LIMESTONE

CORNBRASH FORMATION - LIMESTONE

LOWER LINCOLNSHIRE LIMESTONE MEMBER -
LIMESTONE

RUTLAND FORMATION - ARGILLACEOUS ROCKS
WITH SUBORDINATE SANDSTONE AND
LIMESTONE

UPPER LINCOLNSHIRE LIMESTONE MEMBER -
LIMESTONE

GRANTHAM FORMATION - SANDSTONE,
SILTSTONE AND MUDSTONE

NORTHAMPTON SAND FORMATION -
IRONSTONE, OOIDAL

NORTHAMPTON SAND FORMATION -
SANDSTONE, LIMESTONE AND IRONSTONE

WHITBY MUDSTONE FORMATION - MUDSTONE

Fig. 2.7   Section of the geological map of the British Isles
The underlying limestone is eroded by the River Chater

23

2.3. River Catchment

2.3.1.   Edith Weston is located on the south side of the former valley of the River Gwash. The ridge of land to the south historically connected Manton and Ketton, and looks south down to the valleys of Lyndon Brook and the River Chater. The River Gwash was dammed at Empingham to create the Rutland Water reservoir in the mid 1970s. The river flows east through the Roman settlement of Great Casterton before joining the River Welland east of Stamford. The Welland flows into the Fens, the Wash and the North Sea. The river used to be navigable as far as Ketton until the C18.

2.3.2.   This intricate river system, the hills and valleys that it creates as it cuts through the limestones and glacial remains, gives a distinct character to the landscape of Rutland and has had a lasting influence on the nature and position of its settlements.

Fig. 2.8   Part of the River Welland Catchment Area
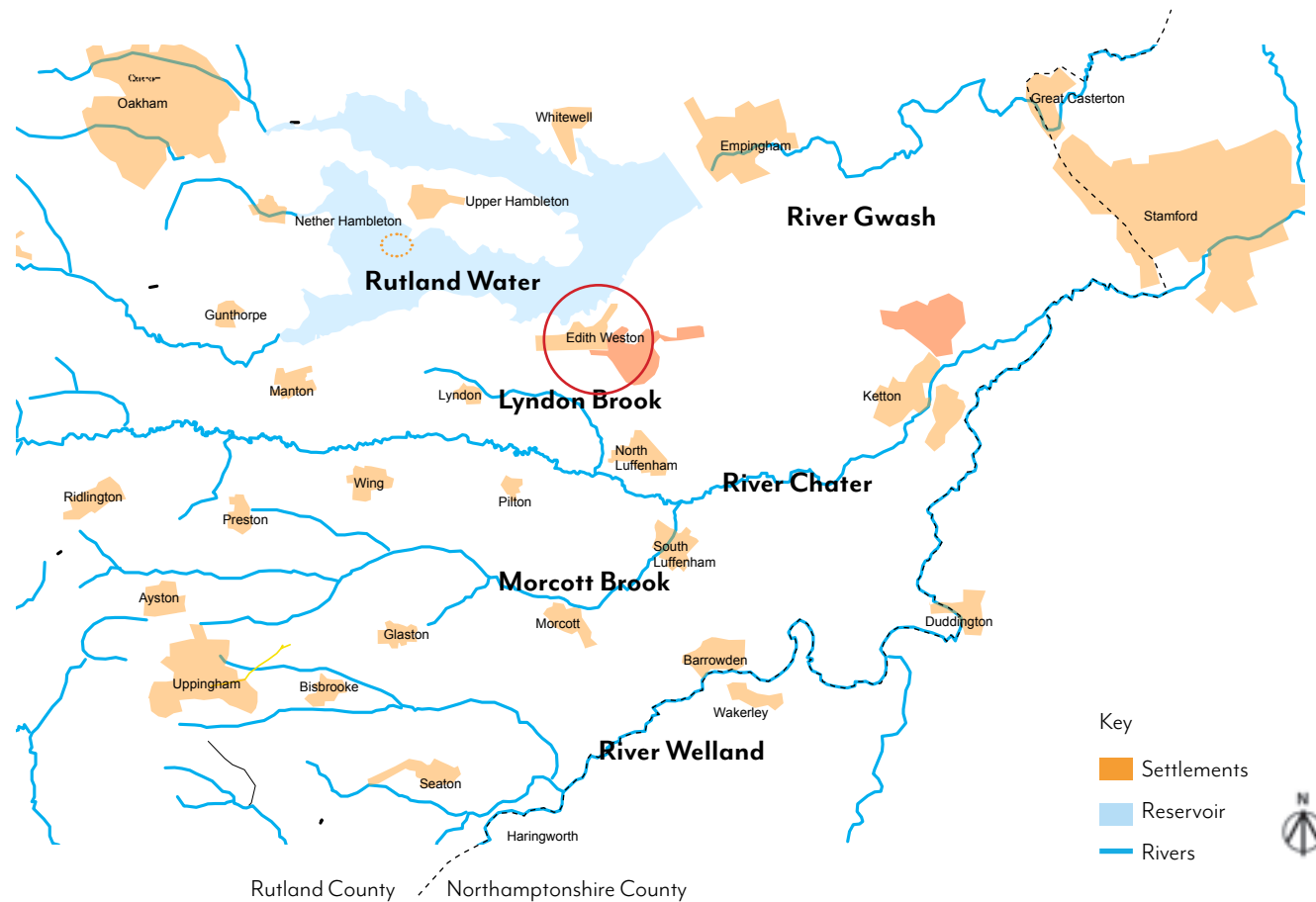
Fig. 2.9   Regional river network

2.3.3.   The Rutland Water Reservoir was created in the mid 1970s by flooding the valley of the River Gwash. A dam was formed at the village of Empingham and the village of Nether Hambleton was flooded and lost. The construction of the reservoir has had an enormous impact on the character and identity of the the Edith Weston village, as has the military base established in the 1940s.

2.3.4.   The Welland Rivers Trust (WRT) was founded in 2010 to conserve, protect and restore the River Welland and its tributaries for the benefit of people and wildlife. Working with a variety of organisations, local people and authorities, the WRT's ongoing mission is to raise awareness of the pressures on the freshwater and riparian environment and deliver a variety of projects to improve the chemical, biological and physical condition of the river. A fundamental aspect of this work is engaging and reconnecting the people that live within the Welland Valley so that this thread of blue infrastructure can improve their health and well-being and once again become central to their local identity.
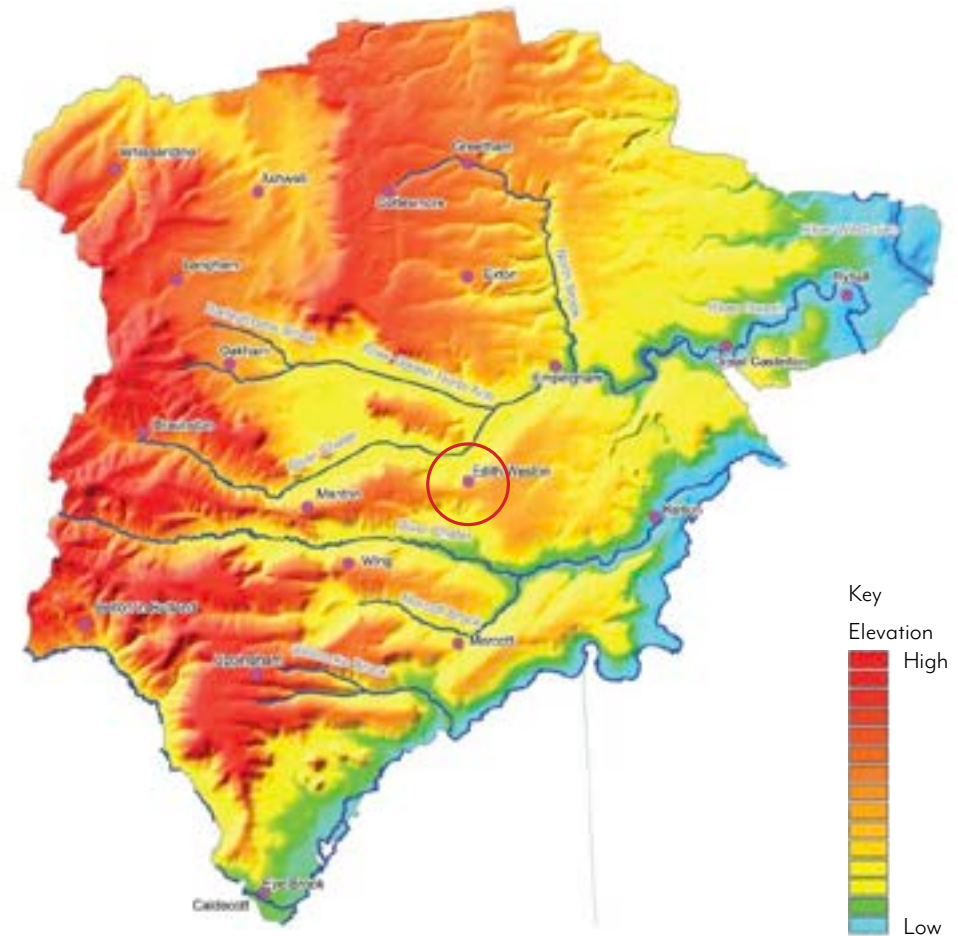
Key

Elevation

High

Low

Fig. 2.10   Main rivers and topography for Rutland County

2.4. Road network

2.4.1. The major north-south and east-west roads passing through this part of the county of Rutland create a primary infrastructure that connects Oakham, Uppingham and Stamford with the larger regional cities of Leicester and Peterborough.

2.4.2. The A1 to the east of the county traces the ancient north-south route that dates back to the Iron Age and was the major road of Roman times, Stane Street. The A47 to the south of the Chater Valley is the main east-west route across the county linking the Midlands (Birmingham) to East Anglia (Great Yarmouth). The A606 north of the reservoir is a historic route connecting Nottingham with London via the A1.

2.4.3. Edith Weston is not directly connected to the major road system. This has enabled the village to retain its rural character and charm despite its expansion in the post war period.

2.4.4. The secondary and minor road network creates a web of nodal connections between Edith Weston and its surrounding villages. The nucleated settlement originally formed at the connection of six roads to adjoining villages and hamlets. This connectivity has been severed to the east by the airfield and to the north by the creation of the Rutland Water reservoir.
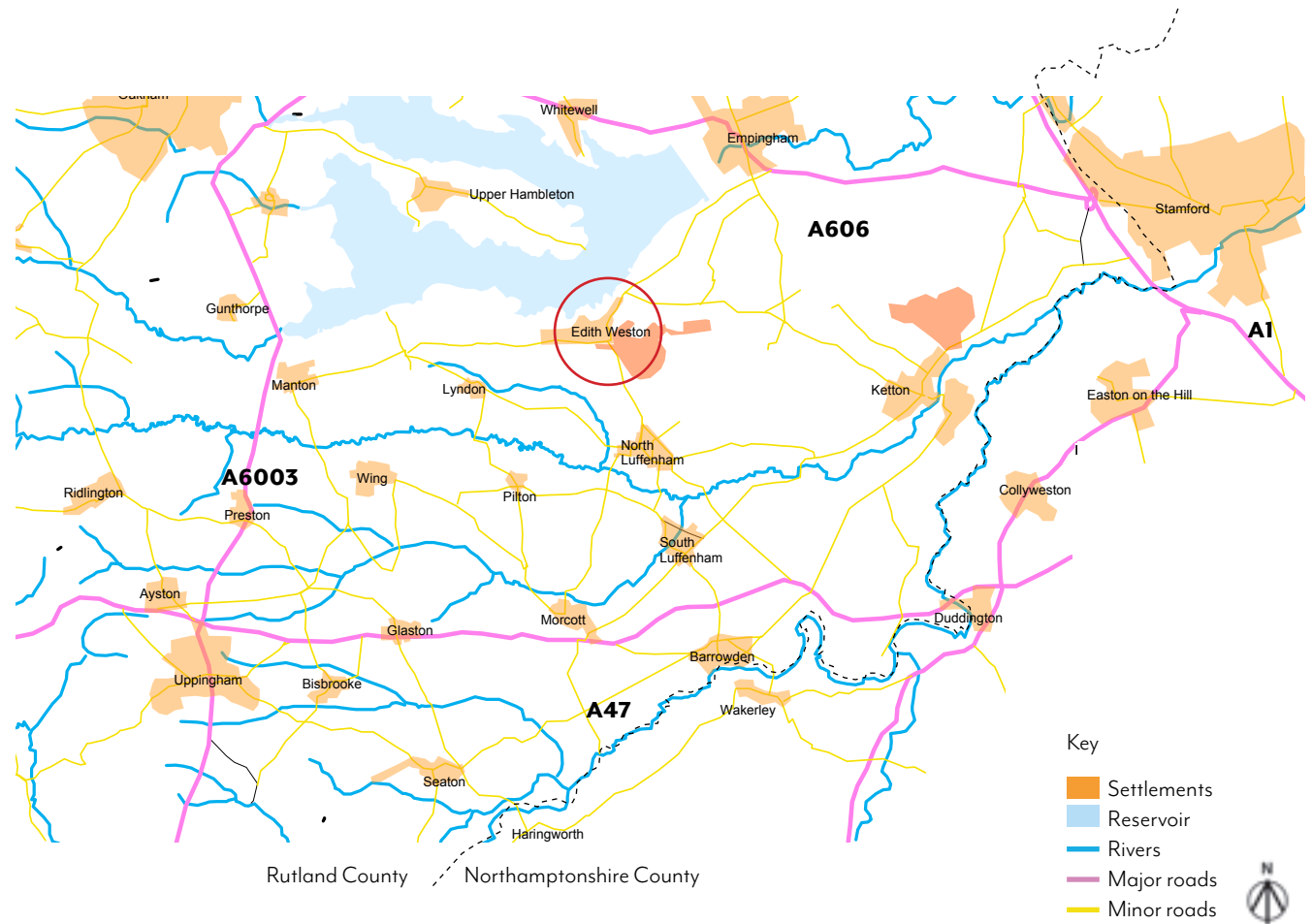

Fig. 2.11   Regional road network

Key

Settlements
Reservoir
Rivers
Major roads
Minor roads

2.5.   Bus and rail connectivity

2.5.1.   Route 12 Call Connect West Midlands Bus services between Uppingham and Stamford visits Edith Weston on a regular timetable, five bus services a day. It takes approximately 30 minutes either way to Uppingham and Stamford.

2.5.2.   Kettering, Corby & Peterborough are geographically close, but the only public transport is the extremely sluggish X4 bus, making driving the most viable journey option. The bus stop is next to the Wheatsheaf Pub on Manton Road. There are no direct bus services to Oakham.

2.5.3.   The nearest train station is at Oakham. It is situated approximately 9.6 km (6 miles) travel distance north-west of the site, therefore placing it outside the range for commuter journeys made by cycle. Stamford station lies on the same railway line, located just under 12 km (7.5 miles) east of the site and similarly outside the distance for commuter journeys.

2.5.4.   The rail network was initially developed in the C19 to serve industry and later in the century to transport people to centres of work such as Stamford, Peterborough and Leicester. The Corby/Stamford link has now closed.
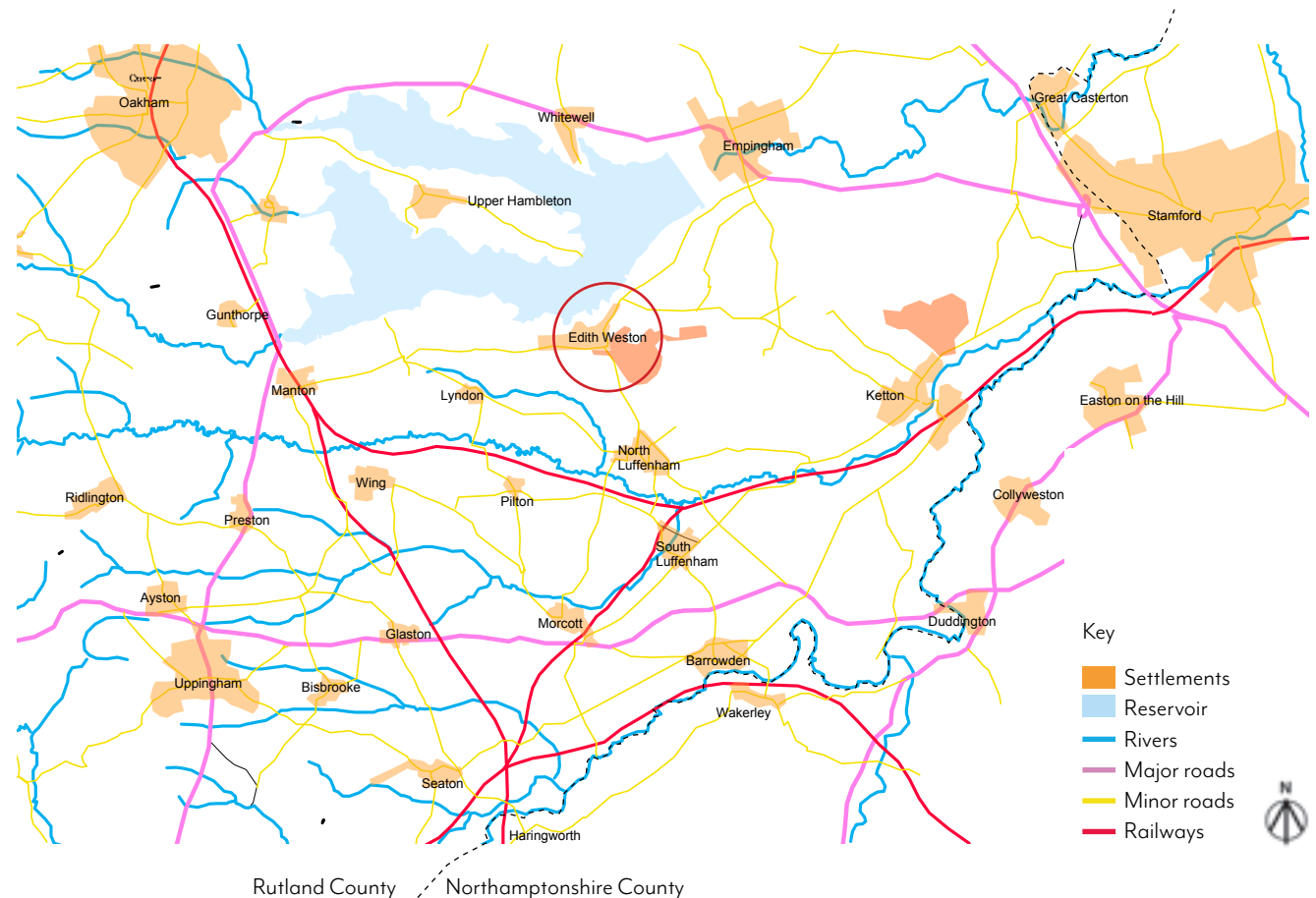

Key

Settlements
Reservoir
Rivers
Major roads
Minor roads
Railways

Rutland County   Northamptonshire County

Fig. 2.12   Regional rail network

2.6.   Long distance footpaths

2.6.1.   Several long distance footpaths pass close to Edith Weston though none pass through the village. Greater connectivity would enable residents and visitors to connect locally and gain access to the national network of paths.

1 European Route E2. A 5,000 Km walk from Ireland to Nice;
2 Round Rutland Walk. 65 miles around the county centering on the reservoir;
3 Hereward Way. 110 miles walk from Leicester to Peterborough;
4 Macmillan Way. The Macmillan Way is a long-distance footpath in England that links Boston in Lincolnshire to Abbotsbury in Dorset;
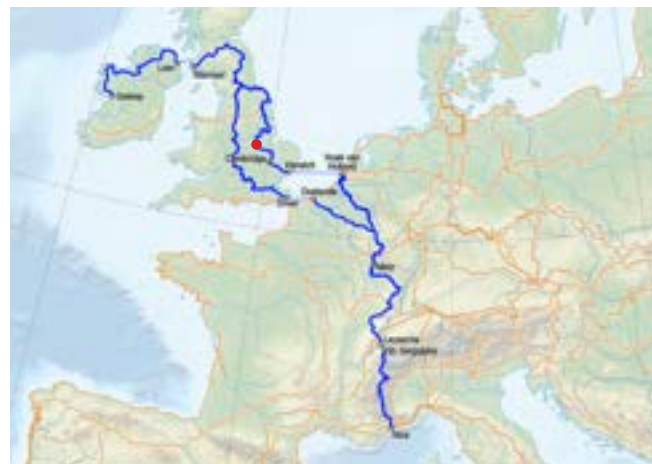5 Stane Street. Tracing the Roman road from Chichester in the south to London and north to York;

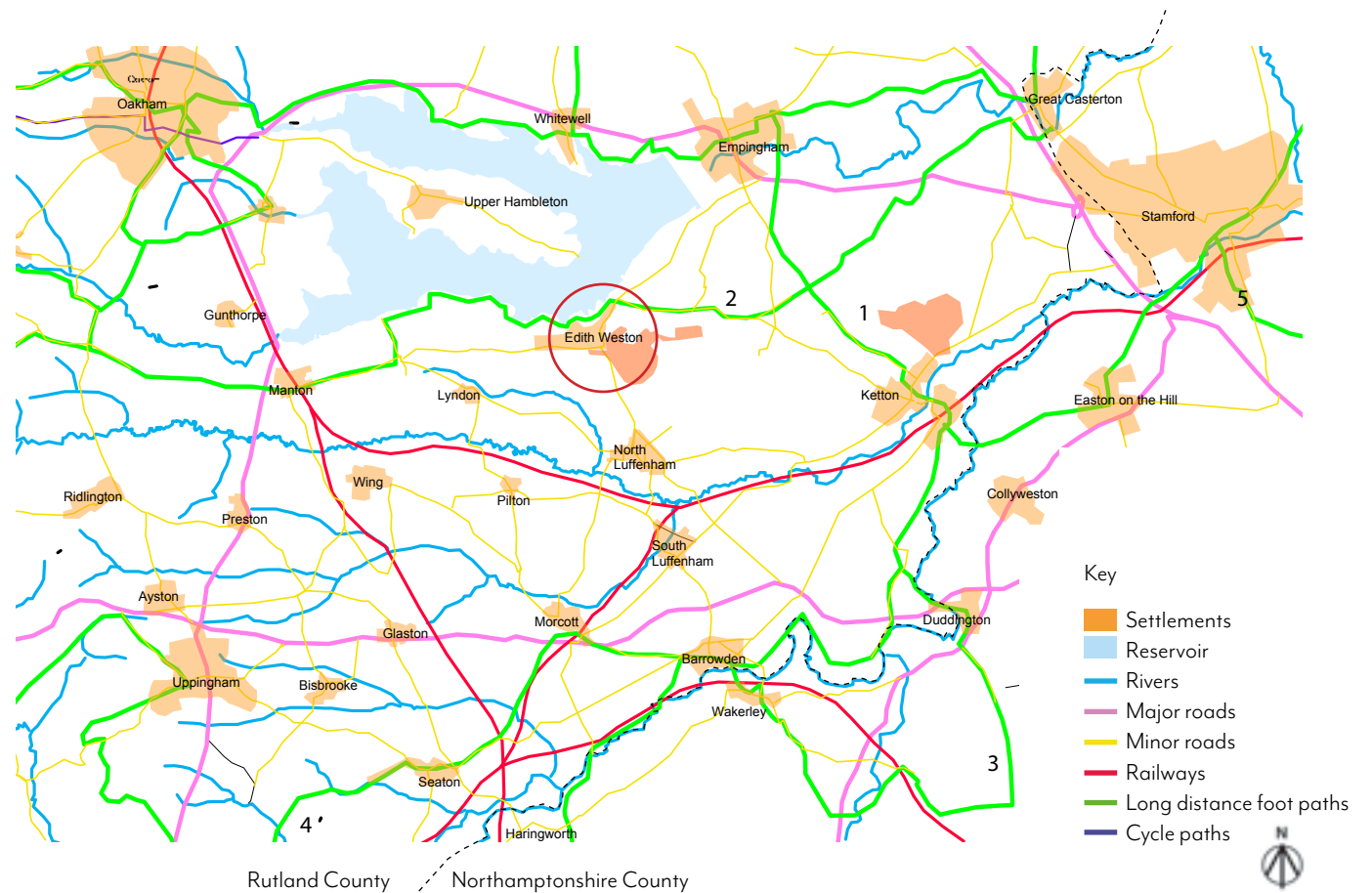Fig. 2.13   The E2 European Long distance footpath runs close to Edith Weston

Key

■	Settlements
■	Reservoir
▬	Rivers
▬	Major roads
▬	Minor roads
▬	Railways
▬	Long distance foot paths
▬	Cycle paths

Rutland County   Northamptonshire County

Fig. 2.14   Regional foothpaths network

2.7. Quarries, Airfields Reservoirs

2.7.1.   Although small and rural, Rutland has several major infrastructure projects within its borders, notably the reservoir, airfields and quarries.

2.7.2.   There are several war time airfields, of which the former RAF Cottesmore is the largest.

Fig. 2.15   The Grade II* Thor Missile Site at former RAF North Luffenham during the Cold War

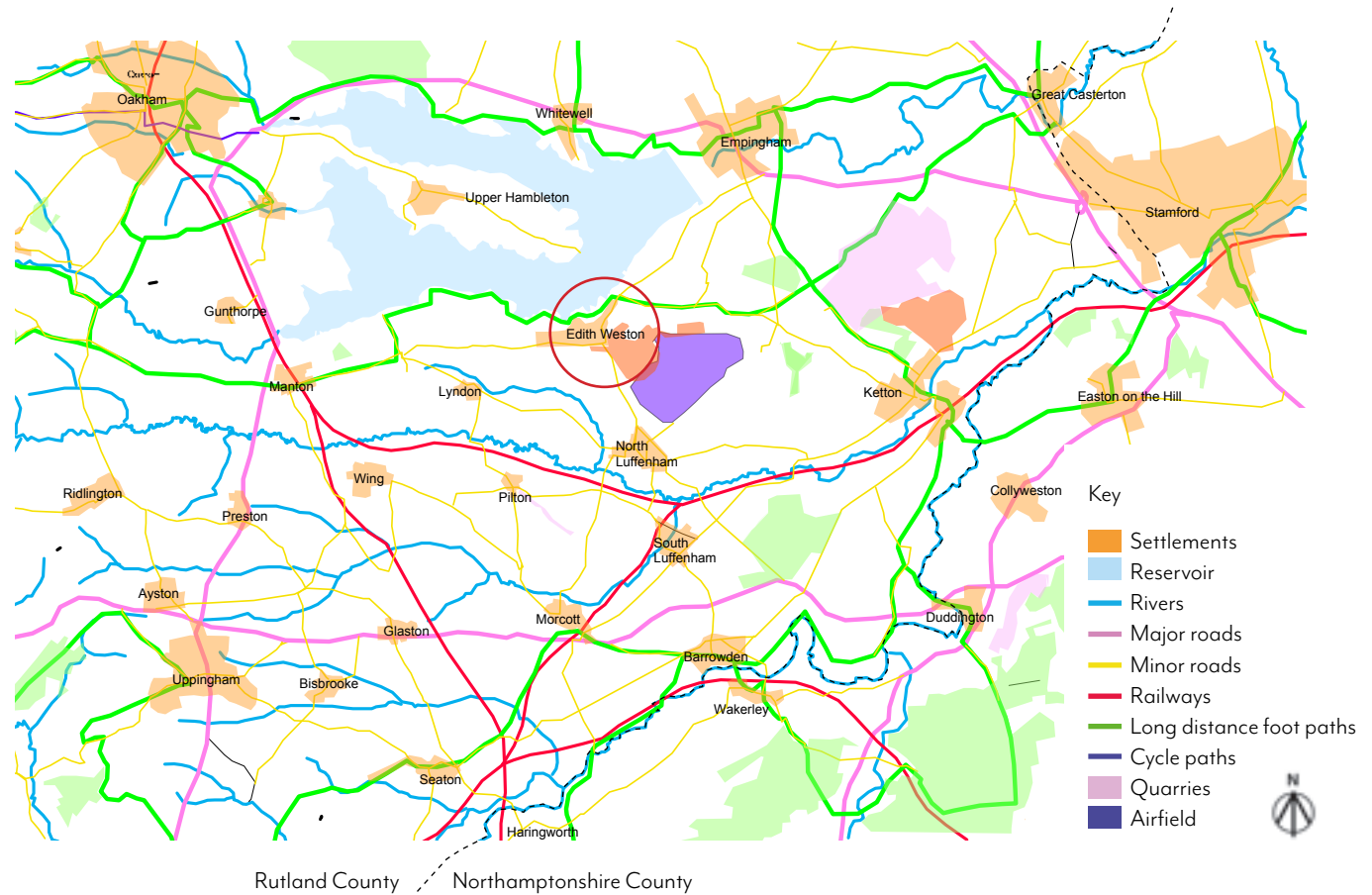Fig. 2.16   Bloodhound missiles part of a ring of defence around RAF North Luffenham

Key

- ▮ Settlements
- ▮ Reservoir
- ▬ Rivers
- ▬ Major roads
- ▬ Minor roads
- ▬ Railways
- ▬ Long distance foot paths
- ▬ Cycle paths
- ▮ Quarries
- ▮ Airfield

Rutland County   Northamptonshire County

Fig. 2.17   Regional quarries and footpaths

3 Local Analysis

3.1. Historic context

3.1.1. "Rutland is a small part of England as she used to be before the Industrial Revolution - unspoiled, clean, full of fine buildings, of country smells and sounds, of sound arable farming with great stone barns, of neatnesss, order and natural good taste almost everywhere. No other county in England surpasses Rutland for unspoiled quiet charm... They say the best things come in small parcels. Rutland is both very small and very good."

3.1.2. "The ancient forest of Leighfield, on the western part of the county, extending well back into Leicestershire has long ago disappeared, and its nymphs have fled; but the valley of Catmose is still know as a name and little Oakham still adorns it. And Wash (or Gwash today) still runs "ever clear rising in Owston Woods, in the beautiful hills of eastern Leicestershire and flowing east [...] past Normanton and Empingham [...] and joins the Welland near Uffington just below Stamford."

3.1.3. "The Chater is the only other river of any size or note in Rutland, and that too rises back in the Leicestershire hills. It flows eastward parallel to the Gwash and only a mile or two from it. Even now there are no villages or hamlets, hardly a house for many miles: the villages all stand far back on the ridges or plateau.. and not until Ketton is there a place of any size on it" (Hoskins, Rutland 1949)
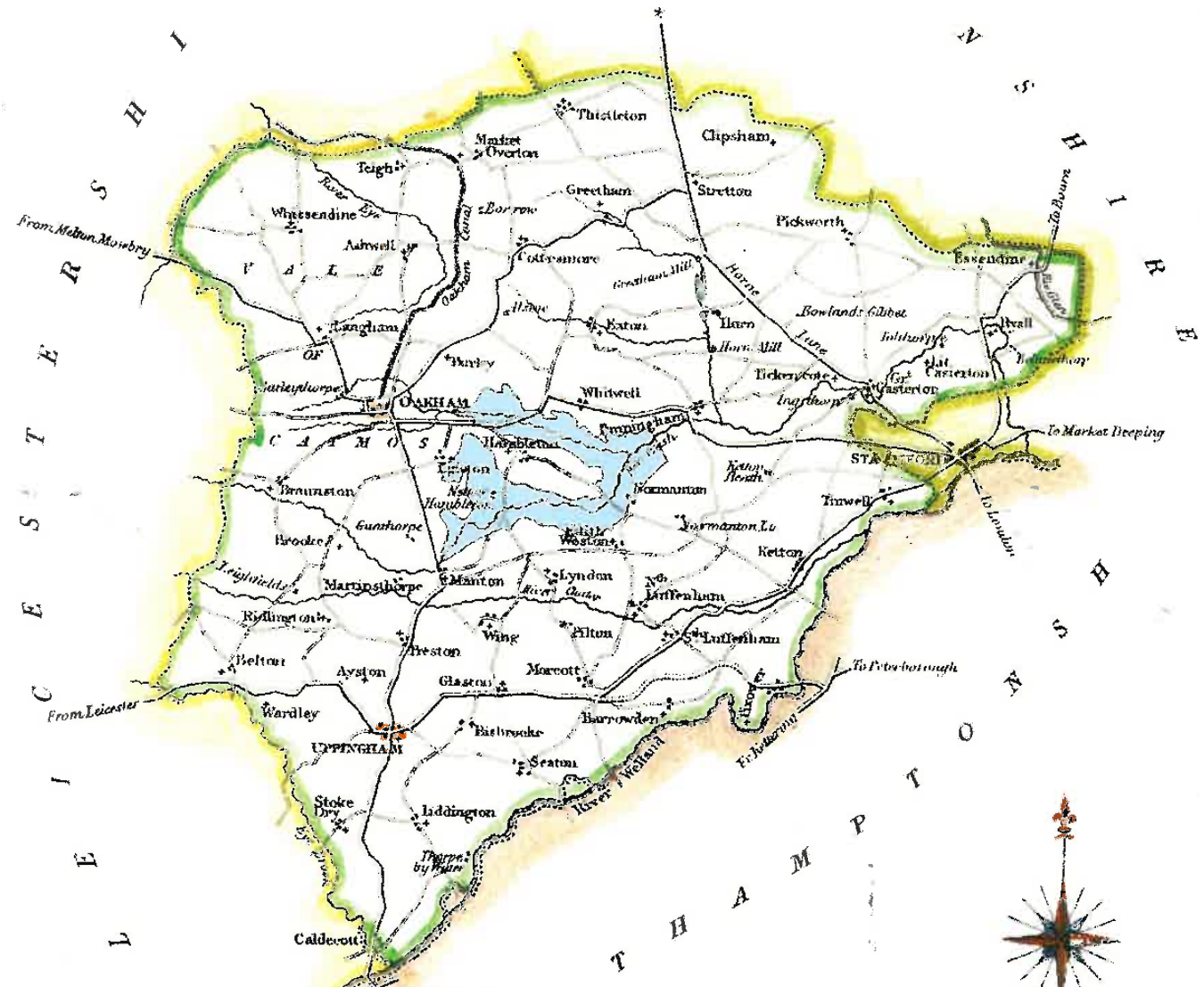

Fig. 3.1   Rutland County map

Contours and shape of the landscape

3.1.4.   The village of Edith Weston developed around the farmsteads and manors that located on the spring line above the river valleys. They continue to reflect the contoured landscape, hugging the slopes between the valley bottom and the plateau above, finding shelter and resource on the landscaped contours.

Land use, quarrying and farming

3.1.5.   The traditional land use of farming is still reflected in the local fields, in the pasture on the higher plateau and in the upper slopes interspersed with arable and crops. Small quarries providing stone for the local buildings are still evident though no longer economic.
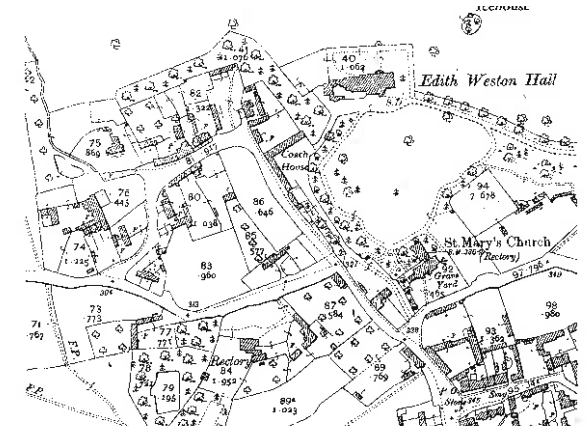
3.1.6.   Paths and bridleways have been lost across the airfield to the east and connecting towards the village of Hambleton to the north.

OS Map of the 1930s before the airfield and reservoir

1930s OS Map Bridleways and field pattern Highlighted

1904 OS map showing the northern part of the village.

Fig. 3.2   Historic and current paths, bridleways and field patterns in Edith Weston parish

3.2. Historic development

3.2.1.   Edith Weston's history and character are created by its geographic position and relationship to the landscape. Archaeological investigations have been limited around Edith Weston itself, but the flooding of the Gwash Valley in the 1970s precipitated investigation at Empingham and Whitwell that indicate generic socio-economic activity in this area of Rutland.

Prehistoric

3.2.2.   Much of the evidence for prehistoric, Roman/Anglo Saxon and medieval remains has emerged because of the major infrastructure works that would permanently destroy the archaeological remains, such as the reservoir and road building. It can be assumed that the evidence unearthed represents typical habitation and activity in the adjoining valleys, and that further similar remains lie beneath the soil's surface.

3.2.3.   Flint tools have been collected by the Rutland Field Research Group demonstrating a hunter-gatherer life style hunting of boar, ox and red deer.

3.2.4.   While there is little evidence of pre-Roman settlement It can be conjectured that the village's geographic position was favourable to early settlement. On the spring line of a north facing slope close to the confluence of rivers and two tributary streams, the location offers the attributes needed for permanent a settlement:

·   Water, sun and soil

·   Energy

·   Balance of connectivity and security

Fig. 3.3   Roman map of Rutland

3.2.5.   Evidence of an Iron Age homestead at Whitwell and a Bronze Age burial 4500 years ago uncovered at Oakham suggests that the area was inhabited and possibly farmed during the Bronze Age.

Romano British

3.2.6.   An archaeological dig in the late 1960s uncovered evidence of a Roman road and farmstead on the northern slopes of the River Gwash. "The valley side had been terraced to provide construction platforms for three buildings, one of them an aisled barn, a cobbled farmyard and a well with abandoned items including shoes, loom weights, counters iron nails and farming, construction materials."

3.2.7.   A further, more extensive Romano-British farm was discovered on the northern south facing slopes of the Gwash with underfloor heating and a bath house. Further Roman stone coffin burial and items of sophisticated jewellery bone, copper and blue glass beads indicate a sophisticated trading network that stretched through Britain and Europe to the Middle East. Great Casterton, five miles to the north east of North Luffenham was an important Roman fortified town on Stane Street, the main Roman Road from London to the north east.

3.2.8.   It is likely that the river Welland was navigable from the North Sea as far as the confluence of the Gwash. This part of Rutland was a highly connected and prosperous part of the global world in the 400 years of the Roman habitation of Britain.

Anglo Saxon/Scandinavian

3.2.9.   Excavations at Anglo Saxon cemeteries at Empingham and, even closer, on the road connecting North Luffenham to Edith Weston, unearthed skeletons of people buried in jewellery and battle ready helmets and shields. Glass beads probably made locally but from imported glass suggest a continued trading link with Europe.

3.2.10.   This area of Rutland lay in the emergent kingdom of Mercia but in the eighth and ninth century became part of the Anglo Scandinavian region known as the Danelaw. Much of the land around the village was in the hands of the Anglo Danish kingship.

Norman

3.2.11.   The Norman occupation of England took few prisoners, and the nationalisation of the land under royal ownership formed a centralised network of power and control that is still evident today. The motte-and-baileys at nearby Oakham and Stamford were accompanied by a massive church building programme that aimed to dominate the economic and spiritual life of the kingdom within two decades. The area is connected with both Edward Confessor and Harold Godwin suggesting an enduring legacy of Saxon and Danish influence.

3.2.12.   The number of churches dating from the Norman era in Rutland's small, sometimes tiny parishes is extraordinary and quite problematic for the Anglican church in terms of upkeep today.

Fig. 3.4   Anglo Scandinavian map of England
"The best things come in small parcels and England's littlest county, famously independent, has more good churches per square mile than any other. The countryside was rich and profitable located on the Drovers routes east west and north south across central England." (Simon Jenkins "England's Best Churches")

3.2.   Historic development

3.2.13.   The feudal system of land tenure established under the Norman kings established the Manor or Hall at the centre of the landed estate. Serfs and freemen worked on the lord's land most of the time but freemen were able to graze their own animals on agreed common land open field system.

3.2.14.   Arable agriculture was based on the ridge and farrow system of which there is still some evidence in local fields. The high ground was kept for pasture, predominantly sheep and the production of wool which provided huge wealth in the area.

3.2.15.   The land forested until 1630 created extensive hunting areas for the lords of the manors. Tenants of the greater barons that lived on the land in the early 13th century built houses generally within moated sites for protection . No houses of this date survive in the county, but the moats and fish ponds remain for example to the north of the village adjoining the reservoir.

3.2.16.   Sheep farming and the wool trade with Calais and Flanders out of Lynn gradually displaced arable and associated peasant populations.

Middle ages

3.2.17.   Rutland became a county of resident landowners. Buildings of the 16th century are less rare than those of the 15th, though not common. They include the original schoolhouses at Oakham and Uppingham, both erected in 1584, but in part altered in the 18th century. The older part of Clipsham Hall is dated 1582, and a house at Barrowden 1586. At North Luffenham Hall (formerly the Digby House) a barn bears the date 1555, and the oldest part of the house itself is probably of about the same time or a little earlier, though subsequently much altered and enlarged (c. 1616 and in 18C); in one of the outbuildings is some timber and plaster work, the only example of its kind in the county. The gateway and lodge of the 16th-century house built on or near the site of Brooke Priory are still standing.

3.2.18.   The negotiations relating to compensation for loss of common rights afford a pleasant glimpse of the relations between the different classes of the community, since the freeholders of Belton refused to accept the enclosed lands offered them unless the poor of the parish were also compensated. This could well be the origins of the Village Trust.

Civil War

3.2.19.   "When war actually broke out the majority of the leading men of Rutland joined the royalist forces, but its geographical position, especially after the battle of Edgehill, put it definitely into the sphere of the Parliamentary Midland Association. The chief protagonists were Edward Noel, Viscount Campden, and his son Baptist for the king, with Sir Edward Harington and his son James for the parliament. It is rather difficult not to view the Civil War in Rutland as a rivalry between the Noel and Harington cousins."

Fig. 3.5   Normanton Church
Although outside the study area, Normanton church is an important visual and visitor focus

Fig. 3.6   St Mary's Church
Though much of the original Norman Building has been cloaked with 16 and 19C additions the core of the building is Norman displaying a Transitional Gothic style of the (1180-1200)

The village before the reservoir

3.2.20.   The village is a typical nucleated settlement with added complexity in the form of extensive post war infill and estate developments. The medieval 17-19C buildings form two clusters north and south of St Mary' Church.

3.2.21.   The village is located on the north facing south bank of the valley overlooking the river Gwash. The buildings are located on a gradual gradient sloping north into the valley toward the river.

3.2.22.   The settlement grew around the church and medieval manor house. It expanded as a series of farming courtyards and their associated buildings along the road connecting Manton in the west to Ketton in the east.
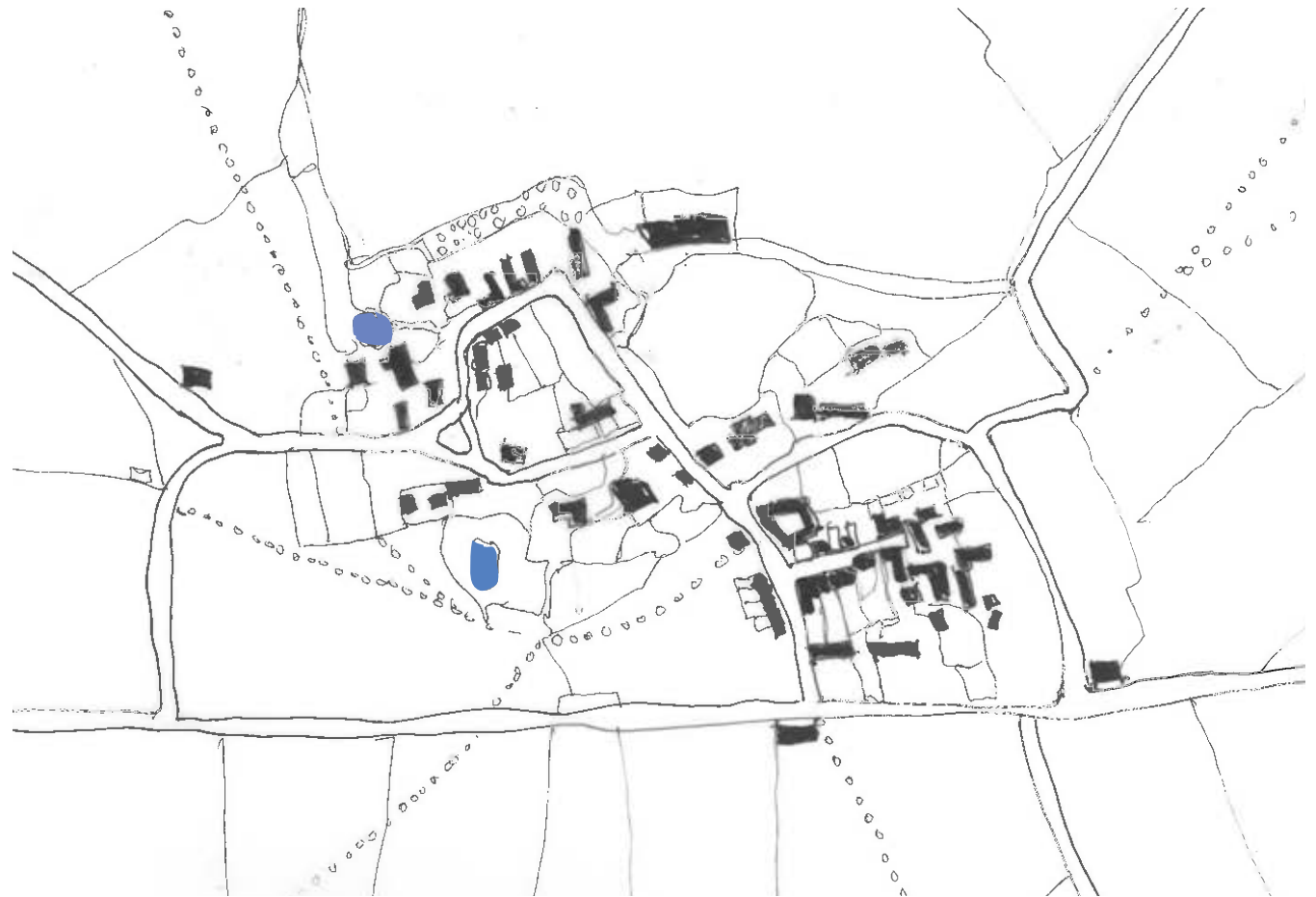
Fig. 3.7   Map of Edith Weston in 1930s

Edith Weston village just before the creation of the reservoir along its northern edge and of the airfield south east of the village

3.3. Village Structure

3.3.1. The parish population at the last census (2011) was 1,366 living in 372 households. This increased from 1,042 in the 2001 census but is probably rising again, reflected in pockets of new housing within the village boundary. By 1931 the village population had sharply declined to 228, but in the next few decades this trend saw a sudden reversal due to the creation of RAF North Luffenham: in 1961 the population had shot up to 2,064.

3.3.2. The medieval village core is a distinct character area divided between the northern settlement, the church and demolished manor house at the centre, and the southern settlement around Wells Cross which was home to the medieval market.

3.3.3. Settlement along the Manton Road is distinct. The military housing to the west and east of the village form almost separate villages, distinct from the village core, while the Officer's Mess to the south of Manton Road is a separate and gated community, relating to the army base rather than to the medieval core.

Key
- ▮ pre-19C
- ▮ 19C
- ▮ 20C
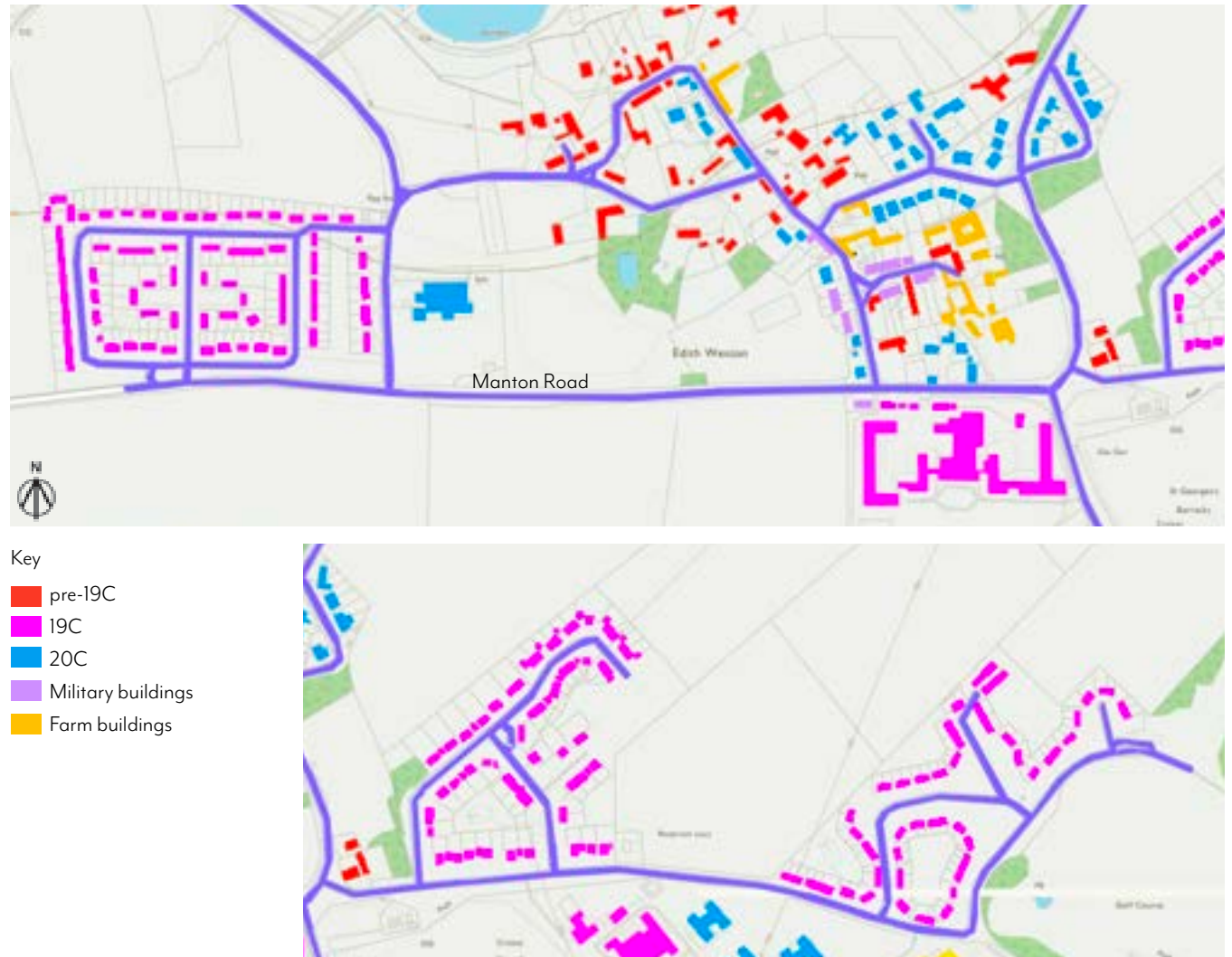- ▮ Military buildings
- ▮ Farm buildings

Fig. 3.8 Edith Weston village built fabric map

Civic and community uses

3.3.4.   The village has an active community life focusing on the village shop, school, hall, pub, church and recreation grounds. The parish council is engaged and there is an active village website. The council manages a series of committees dedicated to the protection and management of various aspects of the village.

3.3.5.   The school and shop support a strong community spirit typical of small rural communities in Rutland. The village shop combines grocery provision with a post office and a coffee shop, the only such service in the region. The Edith Weston Academy primary school is a popular local school built to the west of the village, across the village glebe, and attended by around 120 pupils.

3.3.6.   The historic Wheatsheaf pub (previously the Wheatsheaf Inn) is an important asset for the village. It is frequented by locals, barracks staff as well as tourists visiting the Rutland Water reservoir.

Wheatsheaf Public House

Village hall on Weston Rd

St Mary's Church

Edith Weston village shop and Post Office

Fig. 3.9   Edith Weston civic and community buildings

3.3.   Village Structure

3.3.7.   The Edith Weston village hall was built as a Memorial Hall for the men and women that served in WWI. It is clad in stone and seamlessly fits into the historic context of the Edith Weston village. It can house up to 100 people and it has been used for craft fairs, furniture sales, parties, play groups and as polling station.

3.3.8.   Rutland Water Golf Club and the Rutland Water Sailing Club provide unique assets to the village community members who actively make use of these as well as enjoy the walks and wildlife provided by the Rutland Water reservoir.

3.3.9.   The church at the centre of the village provides a visual gravity point. Its spire is visible from around the village and beyond and although it isn't currently as vibrant a community centre as it used to be, it stands as a strong symbol of the community spirit of Edith Weston village.

Fig. 3.10   St Mary's church seen from Hambleton peninsula
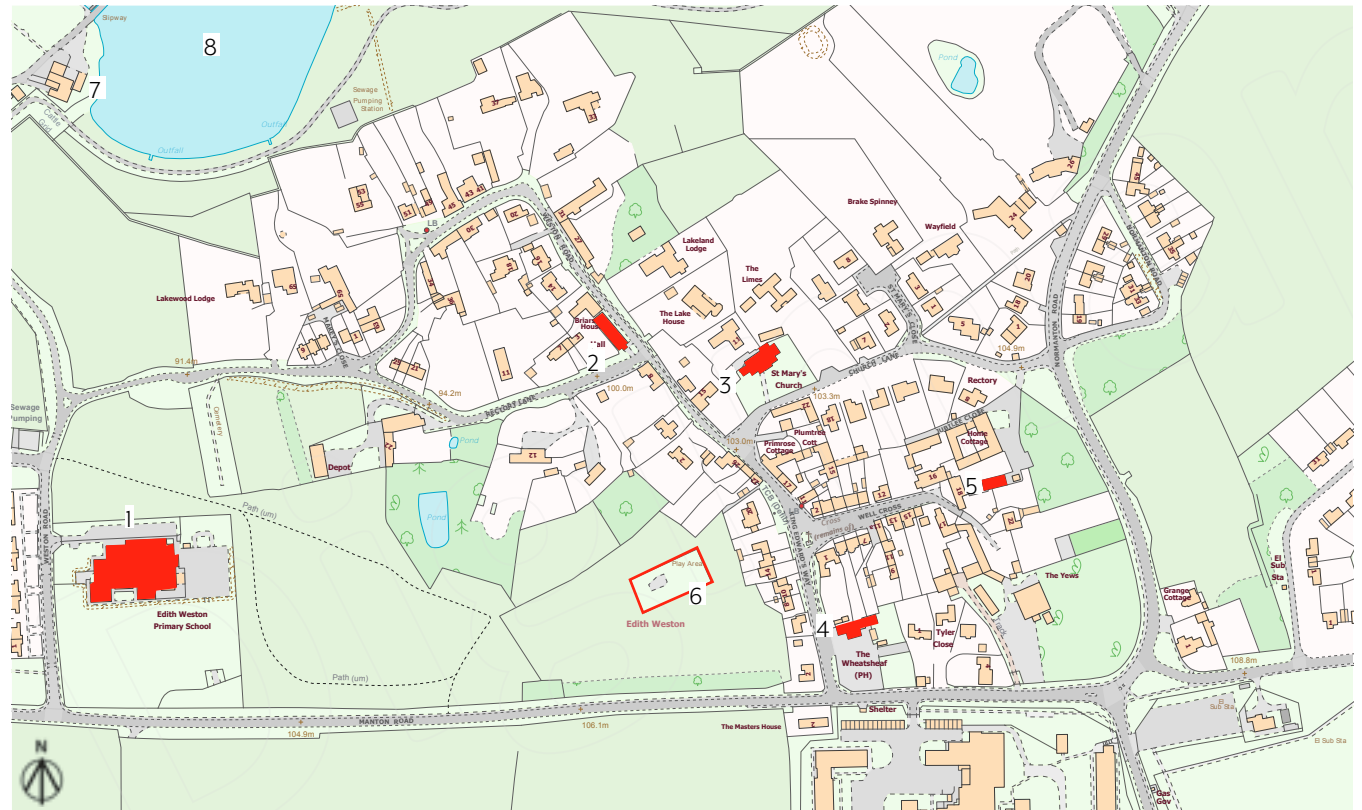
1   The Edith Weston Academy primary school
2   The Village Hall
3   St Mary's Church
4   The Wheatsheaf Public House
5   The Edith Weston Shop and Post Office
6   Tommy's Close Field Recreation Ground
7   The Rutland Sailing Club
8   Rutland Water reservoir

Fig. 3.11   Map of civic and community assets in Edith Weston

Green infrastructure

3.3.10.   The green infrastructure in Edith Weston is modest and disjointed. There is no village green, but there are a couple of playgrounds such as the School playing field and Tommy's Close Field.

3.3.11.   Proximity of the Rutland Water reservoir mitigates the lack of public green space in the village. However, access from the village to the reservoir's amenities and walking routes is indirect and at times inconvenient.

3.3.12.   The military housing developments' buildings are dispersed in wide green spaces with children's play areas provided for in most housing clusters.

3.3.13.   Overall access to country walks from the village is poor, partly because of the disjointed nature of the settlement's green infrastructure, and partly because of a poor provision of country walks in the area. An important green recreation area used to be provided by the plateau to the south east of the village; however this has been disrupted by the creation of the airfield.

Fig. 3.12   Entrance to Tommy's Close Field recreation area

Fig. 3.13   Map of local footpaths recently published by the Ramblers association
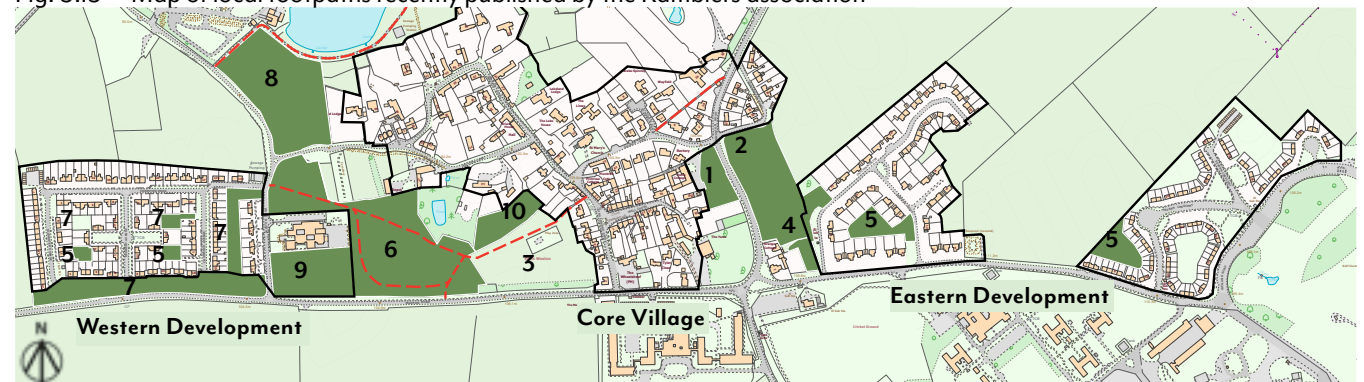
Fig. 3.14   Pedestrian routes and open spaces in Edith Weston

Key

1 Tyler's Field

2 Former Riverbed

3 Tommy's Close Field

4 Woodland

5 Play area

6 Glebe land

7 Green verge

8 Open Field

9 School playing field

10 Orchard

Open green space

— — Footpath

39

3.4. Village Townscape Character

Street edges

3.4.1.   Building heights in the village range from one to three storey buildings. The tallest building in the village is St Mary's Church, followed by the three storey old laundry on Weston Road.

3.4.2.   The historic core is a denser area of development, where building lines create a tighter sense of enclosure to the streets. In areas such as Well Cross where building types are predominantly two to two and a half storey terraces with small front gardens, the street is wider to create a more rural, lower density townscape.

3.4.3.   In the more recently built areas of military housing to the east and west of the village the townscape is much looser. Buildings are predominantly two storey detached and semi-detached houses set back by very large lawns that at times create practically no sense of enclosure to the streets.

The three storey old Laundry building

The three storey Old Coach House

Well Cross terraces

Pennine Drive detached houses

Fig. 3.15   Streets and townscape in Edith Weston

Landscape

3.4.4.   The creation of Rutland Water in 1976 has had a significant impact on the character of Edith Weston. The development of the sailing club, the centre for walking and nature reserve, the landmark of Normanton Church have all become tourist and visitor destinations, often centering on the village.

3.4.5.   The reservoir flooded the valley of the Gwash, removing the delicate network of paths and bridleways that connected Edith Weston to its agricultural hinterland and neighbouring village of Hambleton to the north. The reservoir also flooded most of the Normanton Estate, its large house and grounds, as well as the connections to Empingham. Today the reservoir has become a major leisure destination for camping, walking, fishing, cycling and sailing.

3.4.6.   At times there are visual connections from the inner streets of the village to Rutland Water and to the valleys around. These ensure a relationship between the inner townscape of the village and the surrounding countryside.

View onto private lake and garden at the centre of the village

Cemetery off Weston Road

View of Rutland Water from Weston Road

Weston Road separating open field to the left and glebe land to the right

Fig. 3.16   Landscape feature in the village

3.4.   Village Townscape Character

Landscaped edges

3.4.7.   The village is currently relatively well integrated in its landscape. The edges of the village are well landscaped with buildings appearing between mature trees and landscape.

3.4.8.   The landscape around the village to the south towards the Lyndon Brook and Lyndon Rd is agricultural, with hedgerows following historic field boundaries.

3.4.9.   The landscape to the east is open field with military structures and military housing. These are placed in open landscape dotted with some mature trees that help to visually integrate the buildings into the landscape.

3.4.10.   The northern edge of the village is comprised of houses and gardens backing onto the Rutland Water walking and cycling route. The property edges are set back from the reservoir's shoreline sometimes as little as 15m.

3.4.11.   To the west the landscape is agricultural, with historic field patterns disrupted only by the extensive Rutland Water Golf Club comprising a nine hole course and an 18 hole course.

Western entrance to the village

Southern edge of the village. Officers' Mess seen from Lyndon Rd

Gibbet Lane, a lost connection to Hambleton. The lane used to lead to the village of Hambleton, now it finishes at the Rutland Sailing Club.

Northern edge of the village. View of the village core from the Hambleton Peninsula across Rutland Water reservoir

Fig. 3.17   Edith Weston village edges

Townscape and details

3.4.12.   The characteristic roof form in the military housing areas is pitched roofs with some gable ends facing the street, while in the village historic core area buildings have long plans with roof ridges running parallel to the street.

3.4.13.   The typical roof forms in the village historic core are sloped roofs, with coverings of welsh slate, Collyweston slate, clay tiles, pantile clay tiles or thatch. The roof forms of these buildings frequently include a range of wall dormers.

3.4.14.   Chimneys located at the end of prominent gables, rounded stone garden walls or timber casement windows with exposed lintels are a few typical characteristics of the buildings in the village.

3.4.15.   The military housing buildings are typically exposed or rendered brick buildings with clay roof tiles.

Red brick and stone chimneys located at the ends of prominent gables

Collyweston tile roof and skylight

Thatched roof and small dormer

Timber white casement windows with exposed lintels, three-sash dormer

Exposed red brick building

Rendered brick building

Rounded stone garden walls

Low timber picket fencing


Typical stone building and casement dormer

Dressed stone building

Fig. 3.18   Building materials and details in Edith Weston

3.5.   Character Areas

3.5.1.   The village has two main character areas: the historic village core (1-4) and the postwar military development (5-8).

3.5.2.   These areas have very different townscape, edge and material characteristics. While the historic core presents a diversity of building typologies, from detached to terraced housing sometimes up to three storeys tall, the military developments are dispersed and mostly two storeys high or lower.

Historic Village Core areas

Postwar Developments areas
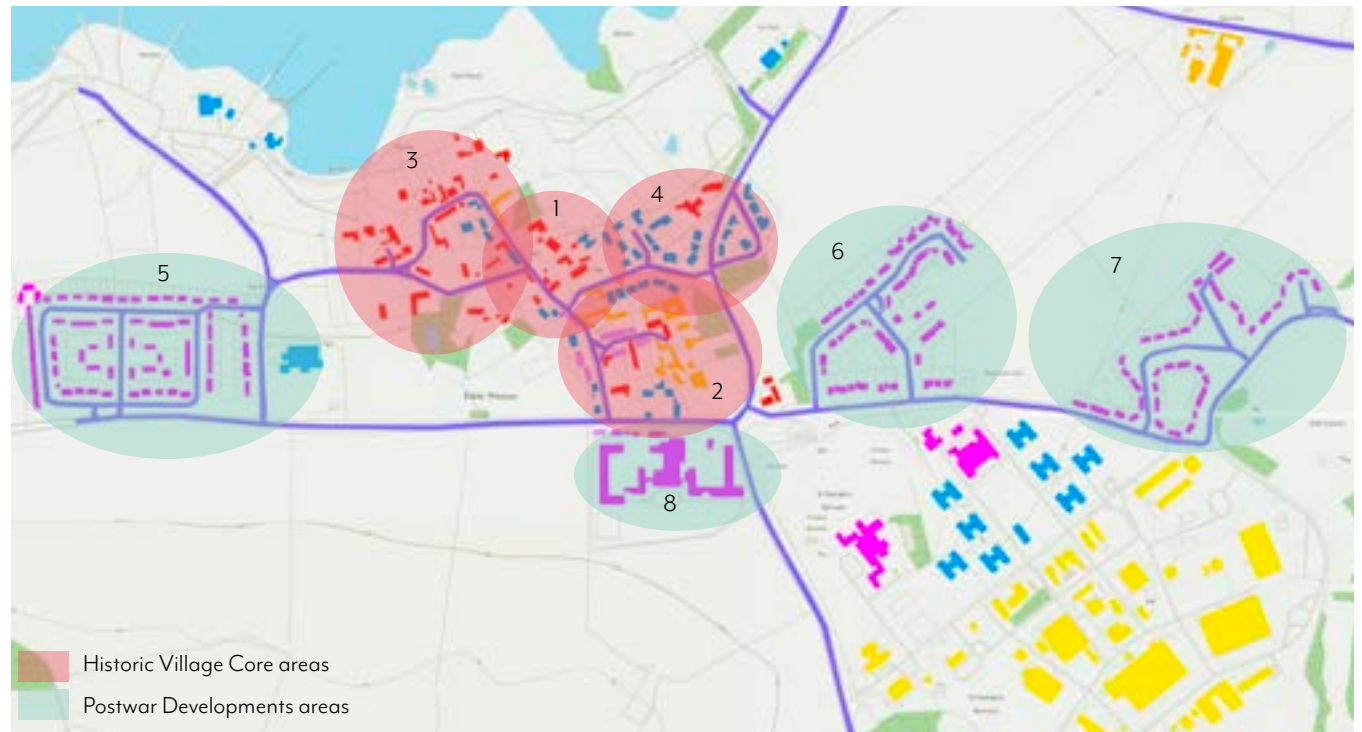
1   Church Lane
2   Well Close & King Edward's Way
3   Rectory Lane, Makey's Close, Weston Road
4   St Marys Close, Normanton Road
5   Coniston Road
6   Chiltern Drive/Mendip Road
7   Severn Crescent
8   Officers Mess

Fig. 3.19   Edith Weston village Character Areas

Church Lane (1)

3.5.3.   The Church is the oldest building in the village with origins associated with the pre-Norman monastic settlement of the Danish/Saxon Five Boroughs and Edward the Confessor. The existing building dates back to the 1100s soon after the conquest, though Edith Weston as a settlement is not mentioned in the Domesday Book.

3.5.4.   Most of Church Lane falls under the Edith Weston Conservation Area which protects the stone, traditional buildings located on this street as well as the numerous listed buildings and monuments in the church yard.

3.5.5.   The Conservation Area boundary crosses the east end of Church Lane and as a result the character of buildings changes towards the eastern end of the street. There are several listed buildings in this area, including the Grade I listed St Mary's Church.
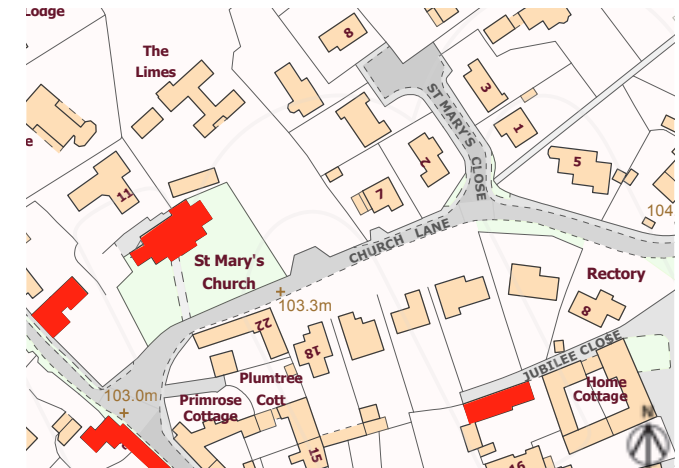
Listed buildings

Fig. 3.20   Church Lane Character Area images and map

3.5. Character Areas

Well Cross and King Edward's Way (2)

3.5.6.   Well Cross and King Edward's Way centre on the stump of the medieval cross still visible in the middle of their junction. Together they form the centre of the historic village. The buildings in this character area are preodminantly two storeys high.

3.5.7.   A series of stone terraced buildings front onto the street that used to house the medieval market by the village cross. King Edward's Way is fronted by a series of detached houses that are frequently set back from the street by generous front gardens without fences.

Medieval village cross stump

Listed 16 Well Cross

3-7 Well Cross terrace

■ Listed buildings

Fig. 3.21   Well Cross and King Edward's Way Character Area images and map

Rectory Lane, Makey's Close, Weston Road (3)

3.5.8.   This character area is located on a slope facing north, towards the former Gwash valley, now the Rutland Water reservoir. The reservoir is visible between buildings and from many of the private gardens on Weston Road that back towards Rutland Water. Some of the tallest, three storey buildings of the village are located in this character area.

3.5.9.   The area has a distinctive sense of enclosure that occasionally frames views towards the reservoir. This enclosure effect is produced by the stone buildings lines as well as the substantial stone walls.
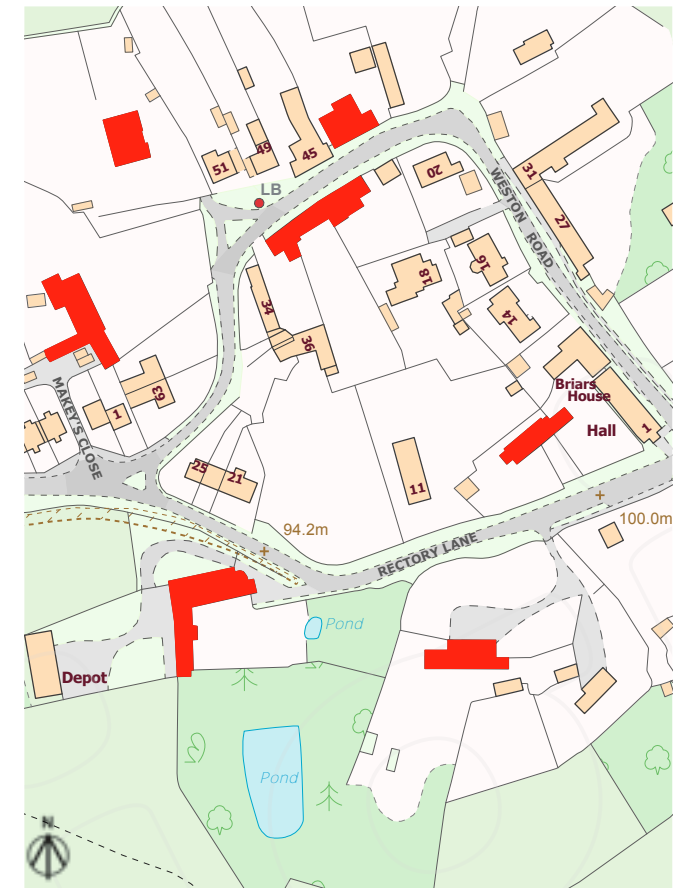

34 Weston Rd

31 Weston Rd

49 Weston Rd

Listed buildings

Fig. 3.22   Rectory Lane, Makey's Close, Weston Road Character Area images and map

3.5. Character Areas

St Mary's Close (4)

Listed buildings

Fig. 3.23   St Mary's Close Character Area image and map

3.5.10.   Military development buildings have a much more regimented relationship to the streets and to each other. Character Areas 5, 6, 7 and 8 are a series of detached and semi-detached housing developments built to house the military personnel working on the SGB site, as well as other military staff belonging to other RAF bases in the region.

3.5.11.   The location of these estates to the far east or west of Edith Weston village offers poor access for their residents to the few amenities in the village core and tends to create a car reliant environment.

3.5.12.   Many of these units are aimed at families therefore play areas for children are frequently found in between buildings.

3.5.13.   The Officers Mess contains more military rather than domestic building typologies, strictly protected through security gates and barbed wire. It provides somewhat denser accommodation in the style of halls, as well as a canteen and other functions related to the RAF base.

Coniston Road (5)

Fig. 3.24   Coniston Road Character Area image and map

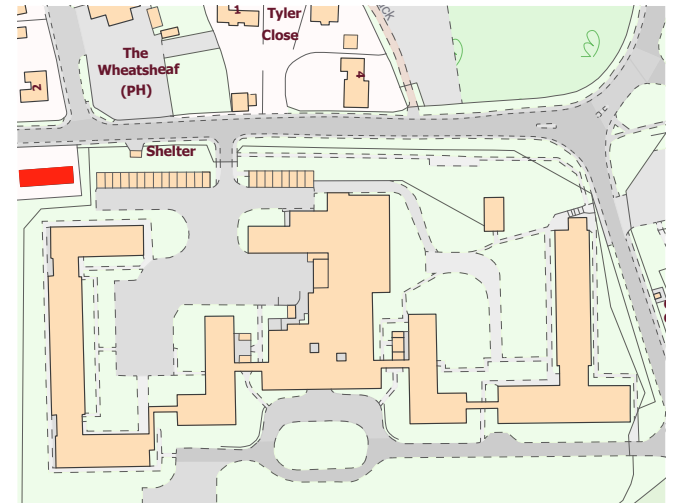Chiltern Drive/Mendip Road (6)

Fig. 3.25   Chiltern Drive Character Area image and map

Severn Crescent (7)

Fig. 3.26   Severn Crescent Character Area image and map

Officers Mess (8)

Listed buildings

Fig. 3.27   Officers Mess Character Area image and map

3.6. Building Materials

3.6.1.   Traditional materials quarried locally have informed the appearance and character of Edith Weston: Ancaster stone, Limestone Ketton masonry and Collyweston slates, clay, cement, thatch.

3.6.2.   Building elements comprise houses and cottages, barn walls, garden and estate boundary walls, all with different copings, gate posts and roofing materials.

Ketton stone

3.6.3.   Ketton stone is a Jurassic oolitic limestone, cream to pale yellow or pink in colour, used as a building stone since the 16th century. It is named after the nearby village of Ketton. It was used as freestone, mostly in buildings outside Rutland, particularly in Cambridge, where it was used in many of the colleges. Nowadays, the major quarry at Ketton produces limestone for the adjoining Ketton Cement Works but selected stone is still set aside for cut building blocks.

Collyweston slate

3.6.4.   Colllyweston slate roofs make an important contribution to the visual character of the towns and villages around Stamford, Lincolnshire. But production of Collyweston slates ceased in the 1960s, and suitable material for repairs or new roof coverings became increasing scarce. This resulted in the use of slates that had been 'reclaimed' from other roofs, or concrete replicas.

3.6.5.   Collyweston slates were traditionally mined in December and left over winter to be split by frosts. However,

since the 1960s there have been fewer cold winters frosts and this has been a major obstacle to reviving production. An artificial method of splitting using an industrial freezer was developed by Sheffield Hallam University and is now used commercially. A Collyweston slater and miner with over 60 years experience was then hired to train contractors in the production of the slates. Slates produced in this way have now been used in a number of projects with no reports of problems. An old mine recently re-opened and the artificial frosting method is now being used commercially.

From Landscape Character Assessment

3.6.6.   The villages (of Rutland) tend to fall into three types in relation to their building materials:

a   in the west some are characterised by a dominance of buildings of coursed rubble ironstone (Braunston Stone) sometimes with dressed / angled limestone quoins and usually with roofs of Collyweston or blue slate or thatch and few other materials eg Ayston, Bisbrooke, Brooke, Preston, Ridlington and Wardley;

b   in the east some are characterised by limestone, some with ironstone, brick and render and roofs of slate with some thatch and tile eg Glaston, Lyndon and Morcott;

c   other villages have a greater variety of materials but are nevertheless very harmonious despite a sometimes eclectic mix eg Belton-in-Rutland, Braunston-in-Rutland, North and South Luffenham and Whissendine.


Fig. 3.28   Rutland Bedrock Geology

Construction and manual skills

3.6.7.   The masonry and roofing skills associated with the construction use of traditional materials are being lost with the current generation of construction workers retiring with few fresh apprentices to learn their skills. A large scale construction and development programme could focus on training in traditional skills with local materials.

3.6.8.   This would benefit both the appearance and character of new development, and the repair and conservation of existing structures and buildings.

The Spinney, a C17 farmhouse made of rubble limestone and dressed stone corners with thatched roof.
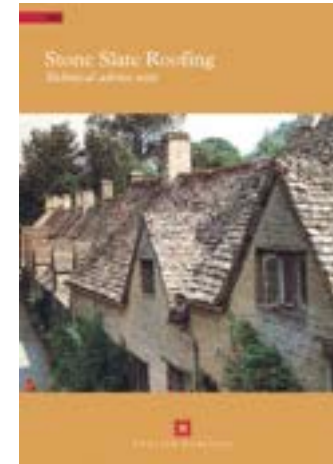
English Heritage Stone Slate Roofing Guide

The church wall in limestone masonry with Collyweston tile parapet

Close up of limestone masonry wall on Church Lane

Fig. 3.29   Stone walls and buildings in Edith Weston

3.7.   Village Survey - Opportunities & Issues

3.7.1.   In April 2021 Edith Weston Parish Council launched a Placecheck Survey to support the creation of an updated Edith Weston Neighbourhood Plan. This section summarises the survey responses in order to highlight the issues as well as opportunities posed by the village as it currently is from the point of view of its inhabitants.

Housing

3.7.2.   Current housing stock is diverse and ranges from medieval to under ten years old. Opportunities for infill development are limited, though there is precedent for development alongside but within the village boundaries such as on Normanton Rd and on viable plots within the village core such as the plot on the bend of Rectory Lane.

3.7.3.   At the same time, there is a shortage of affordable housing, and any infill development should ensure to provide housing stock towards this.

3.7.4.   There is major concern over the potential SGB development. A considerable number of inhabitants would like for the SGB project to be stopped or for it to be changed into a recreational or environmental project.

3.7.5.   The additional development sites allocated by the council such as the Officer's Mess and potentially the School site (if SGB development goes ahead) have caused the local community to worry that if inappropriately developed, these will destroy the village character and spirit of Edith Weston.

Roads, Transport & Movement

3.7.6.   The creation of the Rutland Water reservoir has firstly reduced the connectivity of the village by cutting off connections to the north, but also created congestion and parking issues in the village due to large numbers of visitors to the reservoir.

3.7.7.   New infill developments within the parish and surrounding areas could exacerbate congestion without considered new and improved infrastructure. There are opportunities to alleviate this through traffic calming measures.

3.7.8.   There are locations where key pedestrian desire lines are not provided for in terms of public realm infrastructure. There are opportunities to improve this through better way-finding, improved public realm and pedestrian crossings in strategic locations.

3.7.9.   The social and economic profile of the village and the lack of transport alternatives mean that most people resident or visiting Edith Weston are dependent on cars for transport. This has an effect on the environmental quality of local roads and exacerbates the atomisation and isolation of the community.

3.7.10.   Developing local employment and community opportunities could reduce the number of car based journeys needed. There is an opportunity to set up car shares or clubs so that the use of multiple cars is minimised. Additionally, gradual conversion to electric vehicles would reduce air and noise pollution.

3.7.11.   Long term discussions have been had regarding the reopening of the Luffenham railway station. This would be an exciting opportunity to reconnect the village with the national rail network and decrease car dependency.

3.7.12.   Although there is an active cycle route around the reservoir to the north, there are few opportunities to encourage cycling as an active means of transport. Cycle friendly roads and path ways in the village should be created alongside better pedestrian access and pavements.

Landscape

3.7.13.   The village is an integral part of the surrounding countryside. The landscape has evolved and developed alongside the built form in service to the community.

3.7.14.   The Gwash Valley, now a reservoir, its tributaries and the underlying limestone bedrock are key features that remain from pre-agricultural times before humans adapted the landscape. Roads, railways, quarries, the reservoir field boundaries and services connections have all influenced and altered the natural landscape to arrive at the current forms.

Fig. 3.30   Cyclist in Edith Weston

3.7.15. The village is surrounded by fields, hedgerows and farming activity. However, there are limited existing footpaths across the fields and into the surrounding country side. Older footpaths and bridleways have been cut off by the reservoir to the north and the airfield to the south east. Some of these connections could be reinstated across the SGB site.

3.7.16. There are several long distance footpaths in the area, though none pass through the village. There is an opportunity to extend one of these into the village as part of an exercise to improve pedestrian access into and out of Edith Weston.

3.7.17. The development of St George's Barracks site and the possibility of a large quarry with associated cement works would have a dramatic effect on the character and quality of the village and of the landscape to the south east of Edith Weston.

3.7.18. The views into the surrounding valleys to the north towards the reservoir and to the south towards Chater and Lyndon valleys are highly appreciated by the local community. Higher and longer views from the limestone plateau looking south are also important.

Civic Life and Services

3.7.19. Community life in the village is centered around the village shop, post office, the local school, the pub and the hall. These foster a strong community spirit that the residents appreciate and engage with.

3.7.20. The village has an active parish council that manages community assets, organises events and actively engages with planning processes to assert the community's wishes regarding development in the parish.

3.7.21. The village shop, including Post Office, is a valuable amenity and part reason for Edith Weston's designation as a 'Local Service Centre'. It is used by surrounding communities beyond the parish, as well as by visitors to the reservoir.

3.7.22. The primary school is a long standing centre for the community, and has provided education for multiple generations in the village. The school has attracted people from surrounding villages but created problems around parking.

3.7.23. The church has been at the core of the village since the ninth century and still remains a community and psychological landmark, seen from afar across the valley.

3.7.24. The Market Cross at the junction of Well Cross and King Edward's Way is a focal meeting point for the community, and memory of a past where the supply of water was limited to this collective resource.

3.7.25. The village population has increased tenfold between 1951 and 1961 due to the establishment of RAF North Luffenham, bringing in an active and more youthful community that is not based on the land but in nearby towns and cities, as well as the local military base.

Heritage

3.7.26. The physical and community heritage of the village is represented in its houses, church service and agricultural buildings as well as the relationship of the settlement to the landscape. There are opportunities for the heritage of the village to be reflected in a creative way such as a village walk, annual rituals connected to the changing season etc.

3.7.27. Redundant buildings to the south of the village on the old airfield could become a centre for heritage studies. This could become the basis for a community sourced project with funding from the likes of the National Lottery Heritage Fund.

3.7.28. Opportunities for better signposts to enhance orientation based on aspect, topography, seasonal variation and heritage assets.

3.7.29. The village has a rich array of vernacular building typologies, from the C12-14 church to the smaller cottages, agricultural buildings, barns, farmyards and 1960s council housing. Particular to the village are the C19 terrace workers' houses in Well Cross.

Fig. 3.31   Edith Weston village shop sign

3.7. Village Survey - Opportunities & Issues

Building typologies

3.7.30. There are limited opportunities for development within the village or in the adjacent countryside.

3.7.31. Developments that do come forward should reflect the communities aspirations to retain the character of the village. This would be manifested in scale, groupings, relationship to the road ways, clear identification of the front doors and delineation of gardens, the use of local materials, timber windows, sympathetic roof scapes and a careful consideration of parking arrangements.

3.7.32. New development should take into account the need for more home working and creative leisure time. Diversifying the building types beyond that of the family and social, community groupings could help to overcome social isolation.

3.7.33. There is the opportunity to encourage working-from-home through ensuring new developments include generous study spaces or other flexible spaces that can be used as home-offices.

Materials and Skills

3.7.34. The distinctive character of the village is derived from the limestone quarries that create the walls and roofing materials. This has led to specific skills in the construction of the buildings and details such as the curved garden walls popular in the village.

3.7.35. The village should seek opportunities to work with local construction and building contractors to encourage the reintroduction of traditional skills and materials.

Economy and Work

3.7.36. Since the mid twentieth century the economy of the village has drifted away from the agricultural base that sustained it for a millennium. The number of people that now work in agriculture is minuscule compared to past centuries.

3.7.37. Like many villages in the UK, Edith Weston has been gutted of its economic foundations. The exception to this is the home worker.

3.7.38. The reduced services and lack of employment opportunities mean that most people resident in the village are dependent on cars to access essential services.

Environment and Bio Diversity

3.7.39. The landscape changes in response to agricultural activity. Opportunities to increase the biodiversity and natural habitat of the village and its surrounding countryside should be explored.

3.7.40. Common to all agricultural land, the area has suffered from farming policy that encourages the use of pesticides and artificial fertilizers at the expense of killing off natural species of birds, insects flora and fauna.

3.7.41. The community of Edith Weston can play its part as a link in the chain of many other communities in encouraging rewilding initiatives that can address past catastrophic losses of habitat.

3.7.42. There are opportunities for more community accessed green space possibly around a village pond, a potential source of increased biodiversity.

3.7.43. Natural species could be re-established through initiatives such as the wild flower meadows as in the Coronation Meadows Programme.

3.7.44. There are opportunities to encourage natural habitat within the village through the seeding and planting of indigenous species in the verges, common land, the church yard, the school playing fields and in particular in the rear and front private gardens.

3.7.45. Rewilding will only be successful if it is introduced as part of a network, introducing chains of connectivity and wildlife corridors across the surrounding countryside. Opportunities to establish a re-wilding network with landowners, farmers, other local settlements and villages could be explored.

Fig. 3.32   Rutland Water reservoir seen from within Edith Weston village

Open Spaces and Access

3.7.46.   The village creates a node in a network of other small villages within an hour's walk. The network of connectivity has been disrupted by major national infrastructure in the 20C, including roads, the airfield and the reservoir to the north.

3.7.47.   The churchyard, Tommy's Close Field and glebe land are larger areas of publicly accessible open ground in the village. There are opportunities to improve access and facilities of open areas through initiatives such as allotments, as well as and more facilities for children and young people to offer greater community connectivity.

St George's Barracks New Garden Village

3.7.48.   The potential proposals for the new SGB Garden Village are viewed as an unwanted imposition by most members of Edith Weston PC. This is due to worries about increased traffic, insufficient infrastructure capacity, noise and light pollution, development creep etc. At the same time, the development could bring advantages to the village by providing sustainable and accessible services within walking and cycling distance.

4 Design Codes. Residential Infill Development

4.1. Introduction

4.1.1. The Design Codes for Edith Weston have been developed with and on behalf of Edith Weston Parish Council to reflect the community's ambitions and aspirations for the design and form of change within the Edith Weston Neighbourhood Area. The Design Codes work in tandem with the Edith Weston Neighbourhood Plan (EWNP) to provide guidance on the built form, layout and use of new development.

4.1.2. According to the National Model Design Code, "a Design Code is a set of simple, concise, illustrated design requirements […] that provide specific parameters for the physical development of a site or area". In urban design and planning the terms 'Codes' and 'Guides' are used interchangeably, and the goal of both Codes and Guides is to provide guidance on the design parameters and issues to be considered when making decisions regarding the built environment within the Codes or Guides area.

4.1.3. The weight of each design parameter stipulated within this document is given by the intentional use of the words 'must' and 'should' and this is not impacted by the overall title of the document being either a Code or a Guide. Throughout this document the term 'guidance' is used as an umbrella term to signify both requirements (stipulated through the word 'must') and recommendations (stipulated through the word 'should').

4.1.4. The Design Codes were developed with representatives of the local community to ensure guidance reflects local aspirations (as per the requirements of the NPPF paragraph 129).

4.1.5. The Design Codes are applicable to the whole of the parish, but much of the guidance focuses on the village of Edith Weston itself as the most likely location for development pressure and on a couple potential development sites around the village. This recognises the NPPF presumption in favour of sustainable development, and Rutland's own policies on preferred locations for development and the protection of existing countryside. Additionally, ARU prepared a separate, complementary document outlining the local community's expectation for the potential SGB site development.

4.1.6. The Design Codes comprise of an baseline analysis village assessment (chapters 1-3 of this document), which define the character and issues and opportunities of the area. In addition, they consider the community's responses to the Edith Weston Parish Placechecking Survey 2021.

4.1.7. The guidance is split into two chapters, one focuses on potential development within the village (Design Codes. Residential Infill Development) and one outlines specific guidance in the form of concept level masterplans for the few development potential sites around the village.

4.1.8. These findings inform the village's development strategies and aspirations regarding infill development in the village core as well as in the newer, peripheral areas as well as beyond the village, within the parish boundary. The most significant potential development within the parish boundary is that of the SGB site. These codes aim to clarify the expectations of the Edith Weston community regarding a new settlement within the boundary of their parish.

Good Urban Design. National Model Design Code

4.1.9. Every new development should follow the key design principles and objectives of good urban design. These work together to enhance the physical character, nurture and sustain a sense of community and work to positively address environmental issues affecting the climate.

4.1.10. These individual characteristics are summarised in the National Design Guide as follows:
- **Context** - design a place that enhances its surroundings
- **Identity** - design an attractive and distinctive place
- **Built form** - design a place with a coherent pattern of development
- **Ease of movement** - design a place that is accessible and easy to move around
- **Nature** - design a place that enhances and optimises its natural environment
- **Public space** - design a place with safe, social and inclusive public spaces
- **Uses** - design a place with mixed and integrated uses
- **Homes and buildings** - design a place whose buildings are functional, healthy and sustainable
- **Resources** - design a resilient place that uses resources efficiently
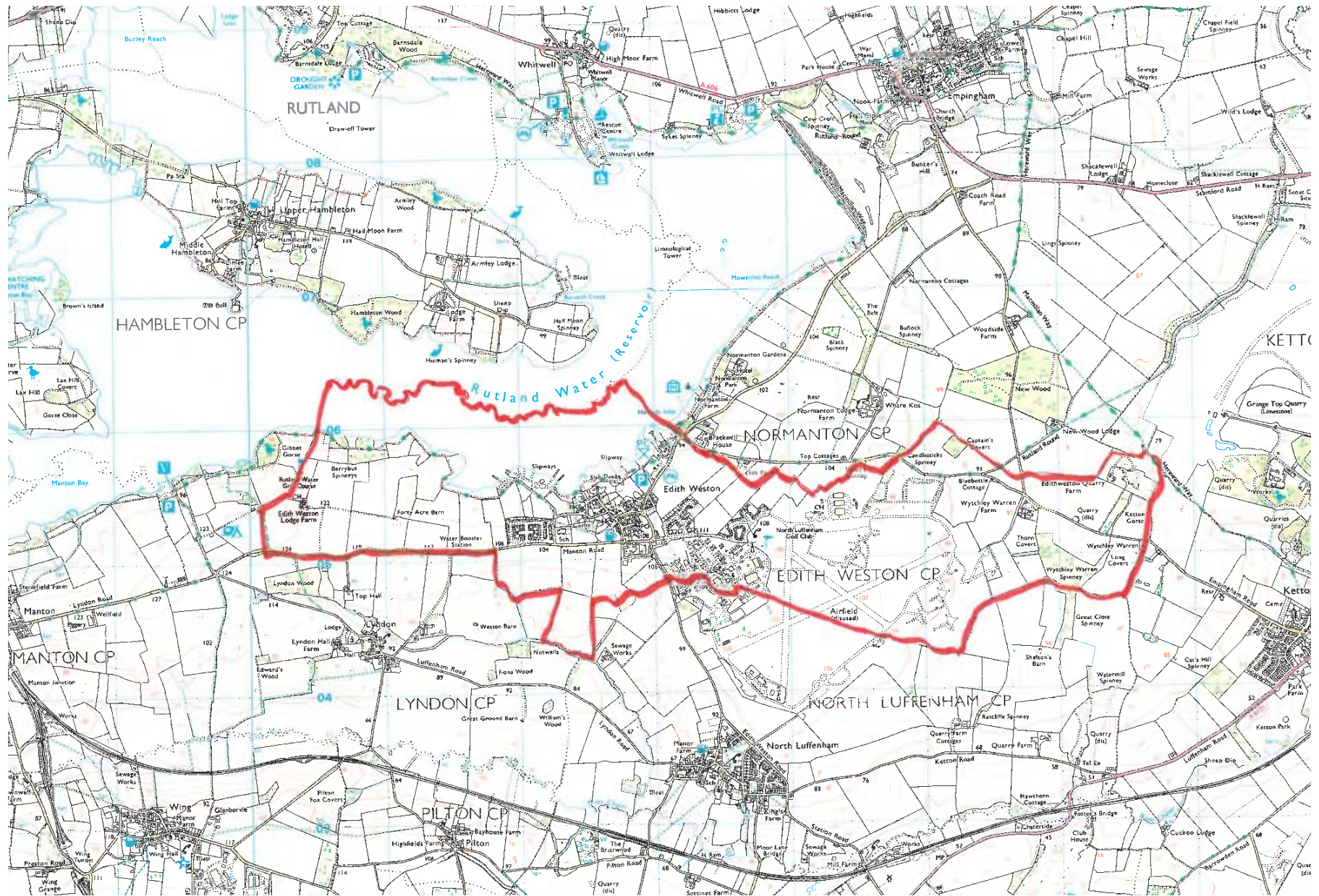- **Lifespan** - design a place made to last

Fig. 4.1   Edith Weston Neighbourhood Area
OS map 1:25,000 showing the parish boundary overlapping with the Neighbourhood Plan Area

4.1. Introduction

4.1.11.   Taking these into consideration, ARU have established the following urban design principles which inform the village design codes:

•   Ensure that new development is responsive to the character of surrounding existing development;

•   Ensure new development adds to, or maintains, the rural nature, character and scale of existing development within the parish;

•   Conserve and enhance the rural landscape and character of the parish. Preserve the existing open views and natural green buffers, including hedgerows and mature trees;

•   Ensure new development improves access to the rural landscape for new and existing residents;

•   Ensure new development provides spaces that are well-designed for all ages, including older residents, young families, teenagers and children;

•   Ensure that any new development creates a safe,well-designed and accessible environment where crime and disorder, and the fear of crime do not undermine the quality of life and community cohesion;

•   Parking provision to be well-thought out with sufficient car parking spaces associated with each dwelling and to be located inside the development perimeter;

Policy framework

4.1.12.   These Design Codes follow and reinforce the existing and emerging policies of Rutland, as well as integrate national policy and guidance. The relevant policies are:
• National Planning Policy Framework (NPPF) revised in July 2021
• Rutland Core Strategy (2011) (RCS)
• Rutland Minerals Core Strategy & Development Control Policies (2010)
• Rutland Site Allocations & Policies DPD (2013)
• The current Rutland Local Plan (under review)
4.1.13.   The following key policy statements should be noted:
• Density: RCS Policy CS10 states that for village extensions a density of 30 dwellings per hectare is acceptable;
• Affordable housing: RCS Policy CS11 states that as a general guidance approximately 80% provision should be for rent and 20% intermediate housing. The emerging Local Plan requires 30% affordable housing (Policy RLP16);
• Open space provision: the Site Allocation Plan sets out the open space standards as follows:

    • 0.4 ha per 1,000 population of parks,
    gardens and amenity green space;
    • 0.6 ha per 1,000 population of provision for
    children and young people;
    • 1.9 ha per 1,000 population of outdoor sports,
    playing fields and kick-about area;
    • 500m² per 1,000 population of indoor
    village/community hall;

• It should be noted that the Emerging Local Plan (Policy RLP44) sets out different open space standards following a review of the open space study in 2015. The open space standards are as follows:

    • 0.4 ha per 1,000 population of parks, gardens
    and amenity green space;
    • 0.6 ha per 1,000 population of provision for
    children and young people;
    • 1.1 ha per 1,000 population of outdoor sports,
    playing fields and kick-about area;
    • Sports hall indoor provision comprising 0.3
    badminton courts per 1,000 population fully
    available at peak time, 0.1 specialist indoor
    bowls rinks per 1,000 population and 10.44 sqm
    of swimming pool per 1,000 population;
    • A good quality community hall;

Fig. 4.2   Private field adjacent to Tommy's Close Field

• Site Allocations & Policies DPD sets minimum parking standards as follows:

Dwelling size	Minimum shared/ communal parking spaces	Minimum allocated parking spaces
2 rooms	1	1
3-5 rooms	1	2
6 rooms	1.5	2
7-8 rooms	2	3

• Design: RCS Policy CS19 states that development over 10 dwellings will be expected to meet a 'good' or 'very good rating against Building for Life and will be required to meet Lifetime Homes" standards;

Design Codes structure

4.1.14.   The Design Codes are structures around six distinct themes and provide guidance as to what would constitute best-practice in contextually sensitive development within the parish of Edith Weston. These themes are:

      • Context & Integration

      • Access & Movement

      • Landscape & Edges

      • Townscape & Built Form

      • Parking

      • Materials & Details

      • Plot subdivision. Layout & Orientation

      • Density Studies

4.1.15.   Within these themes precedent projects have been included to help illustrate specific aspects of exemplary development that would be appropriate to Edith Weston, such as the integration of new green spaces or of sustainable drainage systems (SuDS). These projects should not be interpreted as contextually relevant to Edith Weston in all aspects of their design, but nevertheless they do represent established best-practice in architecture and development.

Fig. 4.3   Private field adjacent to the village glebe land

4.2. Context & Integration

4.2.1. New infill developments within Edith Weston village should be sensitive to their local context, responding to the features of both the site and the surrounding areas.

4.2.2. All proposals should seek to influence their context positively, reinforcing the rural character and quality of Edith Weston, its landscape and townscape.

4.2.3. Developments should protect the rural aspect and feel of Edith Weston, and take particular care to maintain and preserve the tranquillity of the parish.

4.2.4. Proposals should seek to make the most of their site, prioritising the reuse of existing buildings through sensitive restoration, alteration, extension or conversion where this is appropriate and in accordance with the design code.

4.2.5. Design proposals should be developed and informed by analysis of their local context in Edith Weston, building on the evidence base of the Edith Weston Neighbourhood Plan. This should form a critical part of the Design & Access Statement of any planning application.

4.2.6. All proposals submitted for planning should provide an explanation of how they will accommodate the design guidance provided in this document. This should include photo-montages or other visual materials that demonstrate the visual impact of proposals from surrounding streets, public spaces and from along public rights of way within the surrounding countryside (where visible and appropriate).

Heritage

4.2.7. The design and form of alterations, extensions and new development should be responsive to, and influenced by, local history, culture and heritage.

4.2.8. Proposals within the Edith Weston Conservation Area should protect the historic character and integrity of the conservation area and in particular its relationship to existing buildings and surrounding landscape.

4.2.9. All development within Edith Weston should respect the setting of listed buildings through the use of built form, massing and high-quality materials that are sensitive to the existing character of the village. Proposals should not seek to dominate adjacent listed buildings through excessive mass, proximity or use of inappropriate materials.

4.2.10. Development and landscape management proposals in the rural parts of the parish should protect the traditional dispersed rural settlement pattern and conserve and enhance the historic field patterns and existing hedgerows.

4.2.11. Any proposals within the rural parts of the parish should reflect on, and enhance, the landscape character areas described as part of the Landscape Assessment Study.

4.2.12. Pastiche designs that seek to superficially replicate generic historic materials, forms and patterns without employing traditional building trades and crafts in their execution should not be supported. High quality contemporary design using traditional materials should be encouraged.

Fig. 4.4   Normanton Church

Scale

4.2.13.   Small scale infill development should draw on the vernacular quality of the historic village and the positive elements of the later military housing development from the 60s to create a characterful design. The scale of any infill development should be proportionate to the size of its plot and its location in the village. Each proposed building's scale and massing should as a rule be no bigger or higher than any of the surrounding buildings, in order to distinguish backland development from the older village fabric.

4.2.14.   Infill development through subdivision of plots is acceptable, but attention should be paid to providing good quality amenity. The development should be in keeping with the village scale and character.

Landscape

4.2.15.   The village should not be "rounded off" with infill development but green open space should penetrate deep into the plan of the village where possible. To this end the Orchard north of "Tommy's Close Field", "Tyler's Field" woodland, the "Former Riverbed" woodland, the open space next to the cemetery and the wooded strip north of Pennine Drive should be protected.

Sustainability

4.2.16.   Any new development should demonstrate a commitment to working towards providing shared electric vehicle charging points, accessible to those who don't have private parking; electric charging points should be discreetly located with an appropriate design.

4.2.17.   New homes and buildings should be designed and constructed to use natural resources to move towards zero carbon developments.

4.2.18.   Developments should seek opportunities to harness solar energy through solar roof tiles, where possible, ensuring all relevant heritage and townscape policies are observed. The installation of solar panels on ancillary buildings in discreet locations should be encouraged.

4.2.19.   New developments should encourage the creation of solar farms in appropriate locations.

Fig. 4.5   Well Cross junction

4.3.   Access & Movement

4.3.1.   Pedestrian, cycle and vehicle access from the village to the Rutland Water reservoir is limited.

4.3.2.   Vehicle access to the village is acceptable, however safe pedestrian and cycle access is poor, unsafe and undesirable. Edith Weston has very few walking routes and open spaces, which are not integrated into the street network.

4.3.3.   The existing B8 employment area located at the end of Pennine Drive east of Edith Weston has no other vehicle access point except through the village, creating heavy traffic along Manton and Normanton Roads.

4.3.4.   Due to the limited road access to the Rutland Water reservoir from the south side, visitor traffic is directed along Manton and Normanton Roads.

4.3.5.   Edith Weston Village is split into three main development areas: the Western Development, the Core Village area and the Eastern Development.

4.3.6.   The glebe land on Manton Rd and the adjacent "Tommy's Close Field" open space link the Edith Weston Primary School to St Mary the Virgin Church in the village core through a series of criss-crossing footways.

Guidance

Pedestrian & cycle networks

4.3.7.   Any new development should seek opportunities to improve the pedestrian and cycle network within and connecting the three areas of Edith Weston and into the surrounding landscape, especially towards Rutland Water, with additional pedestrian, cycle and bridleway connections where possible.

4.3.8.   Wherever possible developments should strive to reintroduce the old, historic footways and bridleways across the parish and integrate them into Edith Weston's movement network.

4.3.9.   New developments adjoining existing foot ways and public rights of way should seek to reinforce and improve routes including extending the pedestrian network where possible.

4.3.10.   The rural aspect of walks from the village to the countryside should be safeguarded and protected.

4.3.11.   Public Rights of Way should be protected and enhanced, and any proposal that affects a public right of way should incorporate this into the proposed street network, protect it or re-provide it in a more logical routing only if the current route cannot be retained.

4.3.12.   New developments should provide appropriate amenities and infrastructure to support cycling including appropriate cycle parking around proposed local amenities, and safe streets designed to accommodate vehicles, pedestrians and cyclists.

Houses on the eastern edge of the recreational 'Tommy's Close Field' area

Glebe land informally used as village green; view towards the school

Fig. 4.6   Open spaces in the village

4.3.13. Where cycle routes are proposed, these should be coherent, direct, safe, comfortable, attractive and adaptable. Designs should follow best practice in line with Rutland's Fourth Transport Plan, Moving Rutland Forward.

4.3.14. Streets must form a coherent and connected network for pedestrian movement and avoid use of dead ends without onward pedestrian links.

4.3.15. New routes proposed should increase the integration of and access to key existing village amenities such as the Wheatsheaf pub, the Edith Weston Village Shop and St Mary's the Virgin Church.

4.3.16. New developments should encourage pedestrian and cycle access into the village to facilitate the connection of Edith Weston's movement networks with the surrounding countryside.

4.3.17. The creation of alternative pedestrian and cycle routes through the village that increase permeability of the village core should be encouraged in order to provide alternatives for local residents to using the heavily trafficked Manton Rd and Normanton Rd.

4.3.18. New development should ensure that pavements are of high-quality and provide safe and well-designed crossings appropriate for all users, including the elderly, disabled and children. To this end, pavements along the street should provide adequate footways of minimum 1.2m width.

Public transport network

4.3.19. Developments and improvements to streets within the village should consider how best to provide appropriate sheltered places for bus stops, to ensure potential future bus routes can be accommodated.

4.3.20. Any provision of bus waiting shelters should be an appropriate scale and location, provide expanded pavement for the waiting area, and be designed in line with the heritage and character of Edith Weston.

Open space

4.3.21. Any new development should seek opportunities to create additional open spaces accessible to all.

4.3.22. Access to green open spaces should be inclusive, and accommodate uses with a diverse range of needs through accessible gateways, paths, seating and sheltering options where possible.

4.3.23. All green spaces should incorporate planting and landscaping approaches that deliver added value in improving biodiversity, flood resilience and climate change adaptation.

4.3.24. Green spaces should be fronted by pedestrian friendly streets and buildings to provide overlooking or should open up to the surrounding countryside to bring a sense of open landscape into the development.

4.3.25. Proposed green open spaces within new developments should be consolidated to deliver larger areas of amenity space, which can include amenities like play space and seating areas, rather than as fragmented spaces which can feel like "leftover space".

4.3.26. The green spaces infrastructure network across the parish should be developed in a way that facilitates the integration of any new open green spaces provided by new developments, particularly through the potential development of the SGB site, into a coherent green infrastructure network.
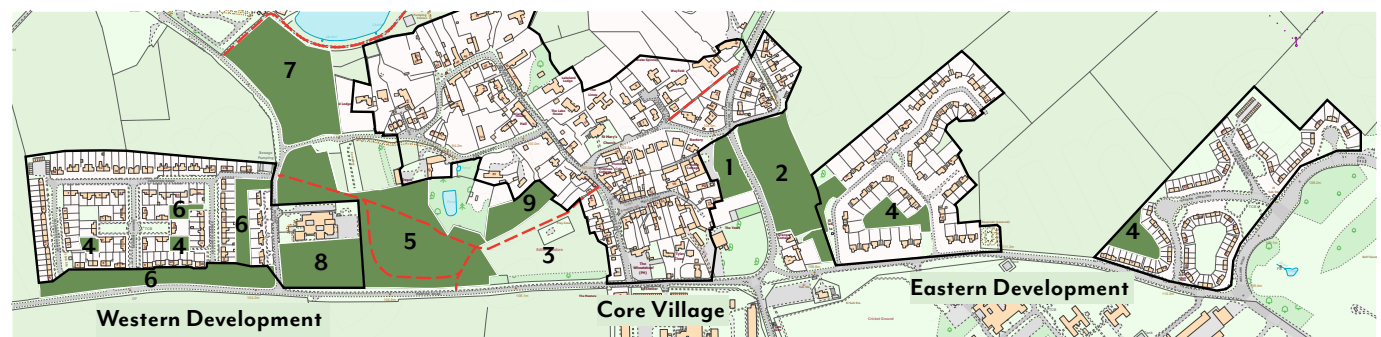
Key

🟩 Green open spaces	1 Tyler's Field	6 Green verge
– – – Pedestrian routes	2 Woodland and Pasture	7 Open Field
—— Permitted development boundary	3 Tommy's Close Field	8 School playing field
	4 Play area	9 Garden Land
	5 Glebe land	

Fig. 4.7   Pedestrian routes and open spaces in Edith Weston

4.4.   Landscape & Edges

4.4.1.   The relationship of the village to the countryside is a defining feature of Edith Weston and something the community places great value on. The village has a strong visual relationship to the countryside beyond, however it has poor access to open space and walking routes.

4.4.2.   The village creates a sense of enclosure with long views out towards Rutland Water beyond, as well as towards the Lyndon Brook valley. These existing views should be preserved.

4.4.3.   The visual connection of Edith Weston to its surroundings is substantial, however some of the most important views are restricted to private properties. This is exemplified by the private backyard edge of the village towards the Rutland Water reservoir.

4.4.4.   The presence of Edith Weston within its landscape is rural and well integrated, a character particularly articulated by its edges; this is an important character of the village that should be a consideration in the design of any new development, particularly on the edge of the village.

**Guidance**

Green infrastructure

4.4.5.   As a rural parish, measures should be taken to conserve the landscape and natural assets of Edith Weston such as the owl nests found in the fields adjacent to the Rutland Sailing Club. Any development that damages existing habitats and ecosystems should not be permitted.

View of Rutland Water from private garden on Weston Rd

St Mary the Virgin Edith Weston Church as seen across Rutland Water from Hambleton Peninsula
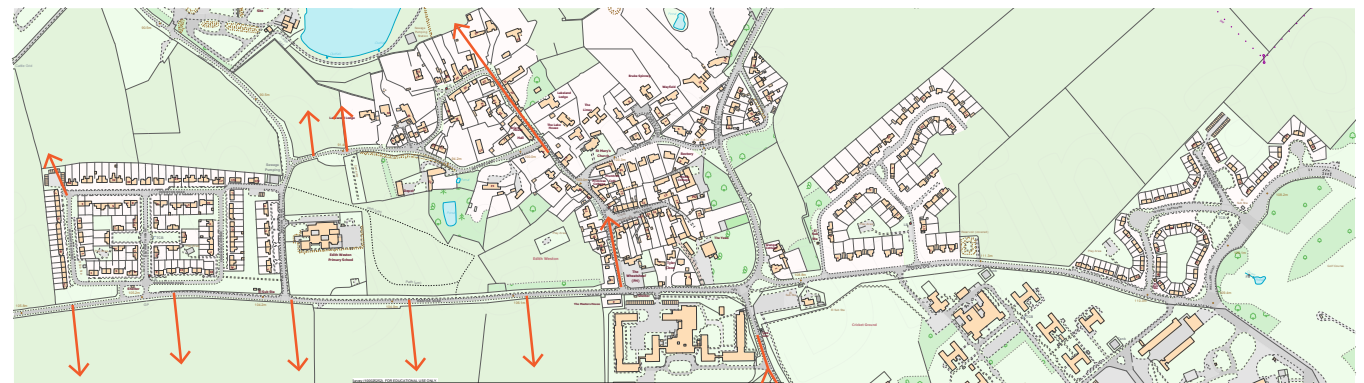
⟶ View point

Edith Weston important views out of the village

Fig. 4.8   Images and map of important views to and from the village

Village edges

4.4.6.   Any new development should be sensitive to and where possible enhance the character of the views of the village from across surrounding open fields and hills.

4.4.7.   Proposed developments should be designed in a way to protect and promote the clearly identifiable separation between the built-up area of Edith Weston and the countryside; where homes back onto open countryside, their boundaries should be softened by the use of hedgerows and landscaping to create a green transition to the surrounding landscape and reduce the visual impact of new buildings.

View to private back gardens (beyond hedge line) from Rutland Water

Officers Mess view from Lyndon Rd

Military housing on left and the SGB site on right along Pennine Drive

Military housing in Western Development along Manton Rd

Fig. 4.9   Edith Weston village edges

4.4   Landscape & Edges

Residential plot edges

4.4.8.   Wherever possible the existing typical stone garden walls should be maintained and integrated in new proposals; making new openings is possible but the treatment must match the existing character of the wall being opened up.

4.4.9.   Any new development should avoid tall garden fences and walls to public space creating dead façades. Careful use of landscape elements, and orientation of properties towards the street is necessary.

4.4.10.   The loss of front gardens to parking should be resisted, especially when hard surfacing is proposed that creates a car-dominated landscape character.

4.4.11.   Existing front gardens within the village of Edith Weston should be preserved and proposals to transform them into hard landscaped areas for parking or any other purpose should be resisted.

Planting

4.4.12.   New planting should reflect the landscape character of Edith Weston, promoting native plant species, hedges and ditches that prioritise low-maintenance and 'wild' spaces that promote the rural feel of Edith Weston rather than through ornamental plantings and large areas of mown grass.

4.4.13.   Existing hedgerows and mature trees should be retained, maintained and enhanced where they appear in new developments, and used to inform the structure, layout and character of the site's design.

4.4.14.   Opportunities to increase tree coverage within Edith Weston's streets and spaces should be supported where appropriate, and consideration should be given to succession planting of existing trees to ensure the continuity of Edith Weston's landscape character.

4.4.15.   Tree and hedgerow planting should be integral to the design of any new roads within the parish to prevent unnecessary visual intrusion into existing landscape character, deliver biodiversity gains, and buffer the impacts of traffic on the surrounding area.

Low stone garden wall edge

Hedgerow and green verge edge
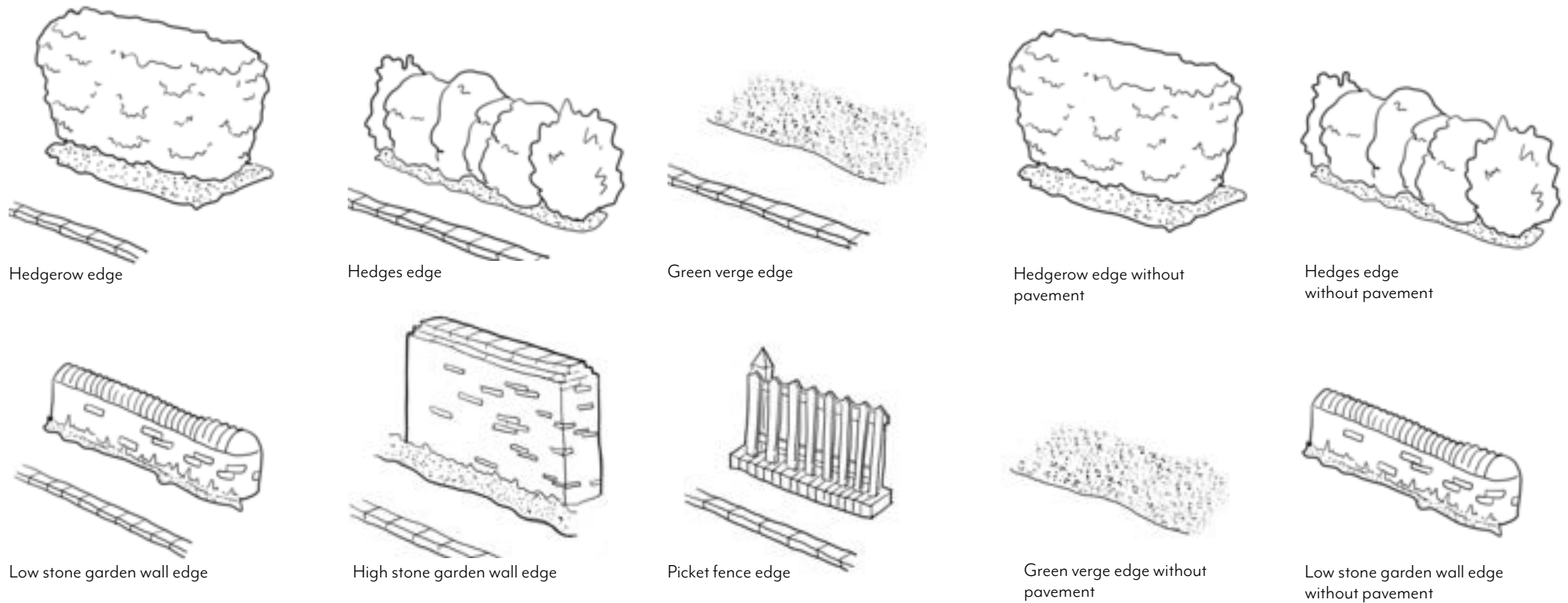
Fig. 4.10   Plot edge boundaries in the village

Hedgerow edge

Hedges edge

Green verge edge

Hedgerow edge without
pavement

Hedges edge
without pavement

Low stone garden wall edge

High stone garden wall edge

Picket fence edge

Green verge edge without
pavement

Low stone garden wall edge
without pavement

Fig. 4.11   Residential plot edge types

4.5. Townscape & Built Form

4.5.1. The typical housing height in Edith Weston is 2 to 2.5 storeys high, occasionally up to 3 storeys. Any infill development must not be taller than the existing buildings.

4.5.2. The historic core of the village along Well Cross forms tight development with a direct relationship to the road, either through boundary garden walls or the building fabric itself. Most of the military housing development to the west and east of the village core is set back from the road with large front gardens or drives.

4.5.3. The typical forms in the military housing areas are pitched roofs with gable ends facing the street and pitched roofs with ridges parallel to the street. In the village historic core buildings have long plans with roof ridges parallel to the street. The juxtaposition of gable ends and frontages as well as frontages with prominent wall dormers are typical characteristics of the village and should inform any infill development in the village historic core.

4.5.4. The characteristic roof forms in the historic core of the village are sloped roofs, with coverings of Collyweston slate, welsh slate, clay tiles, pantile clay tiles or thatch. The roof forms of these existing buildings are frequently a combination of ridges and wall dormers.

4.5.5. In the millitary housing development areas of Edith Weston the sloped roof forms with coverings of clay tiles and are a combination of ridges and prominent gables.

4.5.6. Existing building roofs frequently have predominantly wall and gabled dormers. Chimney stacks are frequently located on gable ends, forming a prominent feature of the gables.

Guidance

Scale

4.5.7. Larger developments should provide a range of building types that can be flexible and meet the needs of the community while adding variation to Edith Weston's townscape.

4.5.8. New development should be informed by the scale, form and massing of the existing vernacular domestic and agricultural buildings.

4.5.9. New development should reflect the characteristic scale and height of the village – typically one to two storeys. This is especially important where adjacent to existing dwellings, roads and paths where taller buildings would change the distinctive visual character of the village.

4.5.10. Any new development should not dominate adjacent existing heritage assets by being overbearing in building mass, scale, built form or material choice.

Edith Weston Village Core figure ground plan showing variable setback from the street of detached houses

Edith Weston Historic Core figure ground plan showing semi-detached, terraced and farmyard buildings, with a much more direct relationship to the street, mostly set at 90 degrees but sometimes at odd angles

Fig. 4.12   Village Core figure ground plans

Building line infill

4.5.11.   New development should recognise the diversity of building line throughout Edith Weston and seek to integrate with the placement of adjacent buildings in order to create a flowing continuity of frontage to the street.

4.5.12.   The frontage building line proposed by new developments can be variable as is the character of the historic core of Edith Weston, whose street setbacks also vary. However, although a range of setbacks is acceptable, these are subject to context.

4.5.13.   Where buildings are set back significantly from the street, they should present an attractive green buffer or traditional stone wall along the street edge, including tree planting and hedgerows, to maintain enclosure of the street.

4.5.14.   Buildings in the core of Edith Weston are predominantly positioned facing the street, with a few exceptions. Although new developments positioned at angles other than facing the street could be acceptable, the proposal should have a demonstrable logic and be appropriate to its context.

4.5.15.   New buildings in the village should be separated from existing buildings with appropriate gaps that follow the patterns of adjacent buildings to reinforce the existing rhythm in the local townscape and enable opportunities for visual connection with the countryside around Edith Weston where possible.

Gable end chimneys and protruding porch

Long, telescopic plan with ridges parallel to street

Gable end chimneys, protruding porches, prominent wall dormers and stone garden wrapping wall

Combination of ridges and prominent gables

Fig. 4.13   Edith Weston village building forms

4.5. Townscape & Built Form

Open space and views

4.5.16.   New buildings around green open spaces, or located at prominent junctions, should be of exceptional design quality and contribute to the articulation of clearly defined streets and spaces by considering their frontage, mass and built form.

4.5.17.   New buildings should not impede the characteristic existing views out of the village into the countryside and beyond, such as the southern and eastern views towards the Chater river valley and the western views towards the Lyndon brook valley.

Overlooking and privacy

4.5.18.   The facades of new infill development facing towards existing buildings should be carefully designed to avoid overlooking and privacy issues.

4.5.19.   The boundaries of private spaces should ideally be softened by the use of landscaping, hedging and greenery where possible. Stone boundary walls are common throughout Edith Weston and would be supported as an appropriate boundary treatment in new developments.

Built form

4.5.20.   For new developments higher than 2 storeys the third storey should use dormer windows serving attic levels, as is the typical pattern within Edith Weston.

4.5.21.   Proposed building forms should reference the existing patterns within Edith Weston, which feature predominantly rectangular plan forms with pitched roofs. Many of these are supplemented by a variety of projecting gables to provide more complex L- or T-shaped buildings.

4.5.22.   Any proposals for complex forms should be resulting from combinations of simple rectangular plan forms that relate to each other at 90 degrees angles, as is typical of Edith Weston.

4.5.23.   Ancillary buildings, including carports, pavilions and garden rooms should not dominate their principal buildings, and be of high-quality design that seeks to integrate with surrounding structures and character.

4.5.24.   Extensions to existing buildings should be appropriate to their context, and never dominate the original building.

4.5.25.   Set-backs in the building facade, similar roof shape and pitches, and careful consideration of materials and details should be employed to create context-sensitive design that respects adjacent properties.
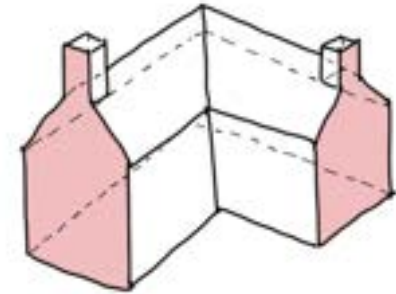
Edith Weston vernacular: chimney gables
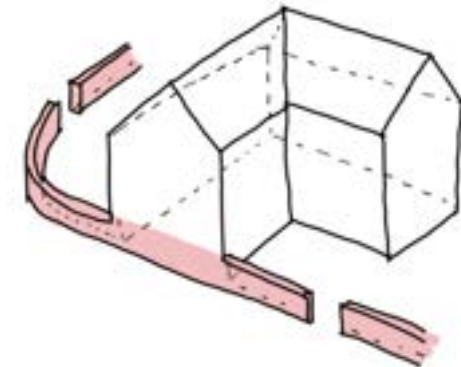
Edith Weston vernacular: wrapping walls

Fig. 4.14   Edith Weston vernacular features

4.5.26.   Chimney stacks of new developments should where possible follow the existing pattern of being located in the gable ends particularly when the building design includes a feature gable wall.

4.5.27.   Chimney stacks of new buildings should have a realistic appearance and be functional wherever possible.

Temporary design

4.5.28.   Temporary structures should only be employed in the village if they respond sensitively to local context and contribute to meeting the community's needs.

Storage

4.5.29.   Bin and cycle storages should be secure, discrete, and located with easy access to the street. Communal bin storage should be considered on larger sites as this avoids unsightly bins cluttering the streets on collection days.
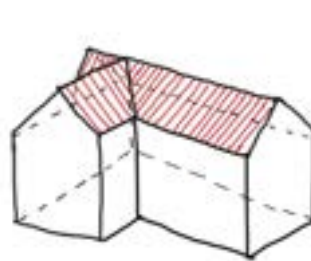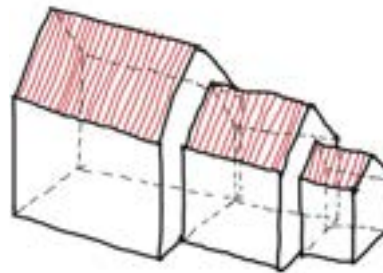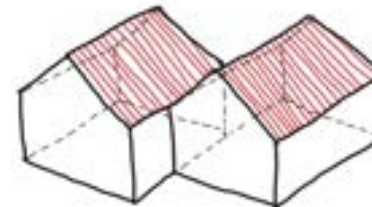
Double gable, L-Shape
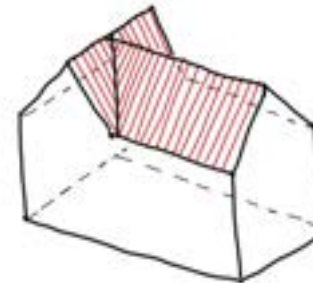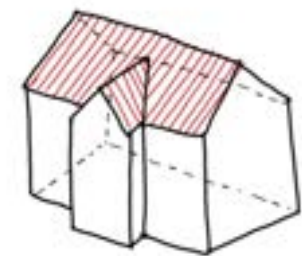
Double gable, rectilinear
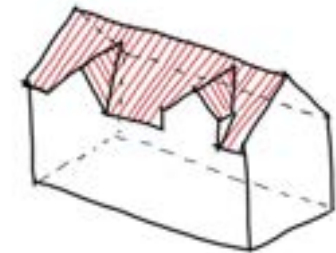
Dormers roof

Telescopic long plan

Sequence of prominent gable ends

Protruding porch/dormer

Fig. 4.15   Edith Weston vernacular features

4.6.   Parking

4.6.1.   Current parking capacity in the village is under pressure. Many Rutland Water visitors avoid paying the parking fees of Normanton Car Park and park on pavements on the streets of Edith Weston village. This creates an unsafe environment for pedestrians and cyclists and the appearance of an environment dominated by cars.

Guidance

4.6.2.   Particular consideration should be given to developing appropriate parking and pick-up spaces around the Edith Weston Primary School in a manner that does not diminish the amenity and quality of the residential area around it.

4.6.3.   Parking within the village should be designed and managed in a way to reduce the dominance of cars in the street scene and its impact on accessible pavements, particularly in the historic core of Edith Weston.

4.6.4.   Parking around new green open spaces should be well integrated with landscaping and tree planting in between cars.

4.6.5.   Where parking is provided within the development curtilage, car parking should be designed to be discreet, at the rear or side of the development and be efficient in a way that does not impede movement along the public footway of streets.

4.6.6.   Parking provision visible from the street should maintain attractive green buffers to the street where possible, and use a permeable ground treatments to reduce the perception of hard landscaping from the street scape, as well as to not increase impermeable ground.

4.6.7.   Any new parking provision on streets should be designed in line with the latest guidance provided by Rutland's Transport Plan, Moving Rutland Forward.

Precedent: Great Kneighton Abode
Street arrangement and design

A scheme for Countryside Properties designed by Proctor & Matthews for a total of 444 mixed types of homes.
In some areas of the masterplan shared surface traffic calming strategies are successfully employed while also providing inoffensive on and off-street parking.
The layout of the masterplan sensitively considers groupings of buildings that preserve the views into the woodland while also providing adequate access and amenity space.
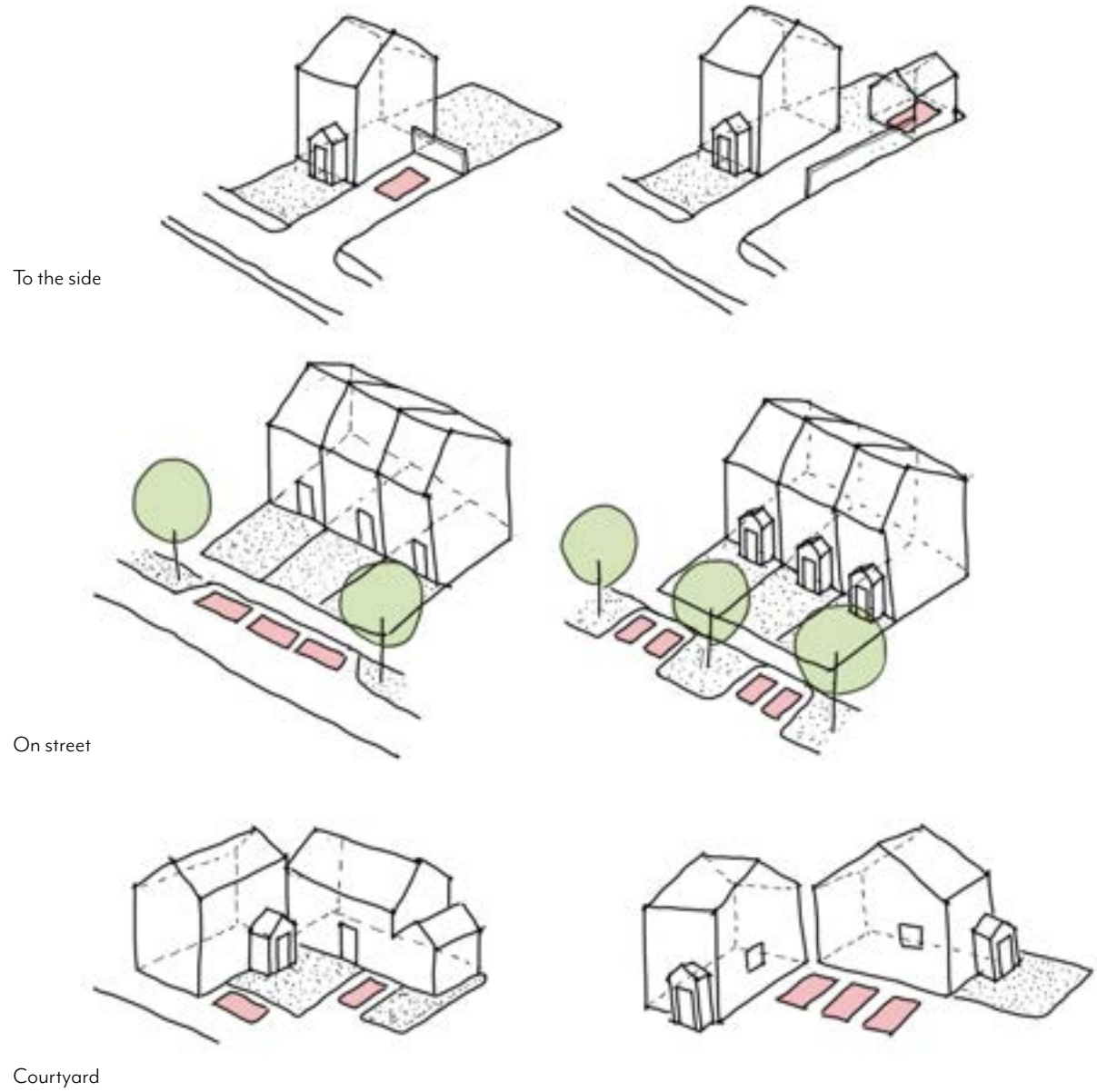
To the side

On street

Courtyard

Fig. 4.16   Residential Car Parking typologies

4.7.   Materials & Details

4.7.1.   The material palette of Edith Weston is crucial to its visual character and reflects the local resources, local fashions and building methods. The primary material of the village is local limestone, which is used for buildings as well as boundary treatments such as garden walls, bus shelters etc. Aside from the historic core, the military housing area is built predominantly in red brick.

4.7.2.   The details characteristic of Edith Weston's buildings are integral to articulating the visual character of the village.

4.7.3.   The entrance doors in the village are typically highly visible, to the front or side of the buildings, predominantly of timber, sometimes painted, with exposed timber beams; entrances are sometimes marked by a small canopy or a small porch extension to the main building.

4.7.4.   The windows in the village are typically timber casement windows, mostly painted white. The buildings in the historic core of the village also sometimes have retained their original stone window surrounds. The top floor windows that are not dormers are frequently placed flush to the eaves of the building, creating a characteristic facade. The windows in some larger properties are mullion windows.

4.7.5.   Ancillary buildings in the village are typically small, with pitches or hipped roofs, designed in keeping with the character of the main building.

4.7.6.   Sometimes stone walls either in buildings or boundary walls are rounded, creating a pleasing, characteristic visual effect.

Guidance

Integration

4.7.7.   New developments should be informed by the materiality of the existing domestic and agricultural buildings as reflected by the local building styles, materials, colours and textures.

4.7.8.   Material choices for development should prioritise the use of traditional materials present in the local townscape, especially stone, slate and clay tiles. The community prefers the use of attractive local stone, such as Limestone Ketton Masonry, Ancaster stone or Collyweston slates; any new development should seek the opportunity to work with local construction and building contracts to encourage the reintroduction of traditional skills and materials.

Roof forms

4.7.9.   Material choice of roof forms in any new developments should follow the characteristic roof forms of the existing buildings in the village of pitched, steeply sloped roofs covered with Collyweston slate, welsh slate, clay tiles, pantile clay tiles or thatched.

4.7.10.   Proposed chimneys should be informed by the characteristic chimneys in Edith Weston, located on the gable ends and made of red brick or stone.

Red brick and stone chimneys located at the ends of prominent gables

Timber white casement windows with exposed lintels

Rounded stone garden walls   Low timber picket fencing

Fig. 4.17   Building details

Windows and doors

4.7.11.   Front entrances should be clearly marked and visible from the front, facing the street or to side of the buildings, either marked through a porch or small entrance canopy.

4.7.12.   Whenever possible window casings should be timber, and painted, as is typical of existing buildings in Edith Weston.

4.7.13.   Window placement should be integral to and related to the built form of the building, with regular openings aligned to the axis of the gables where possible, or flush under the roof eaves, as is typical of Edith Weston domestic buildings.

4.7.14.   The use of contemporary windows featuring large expanses of glass should not be supported within or adjacent to the Conservation Area, instead promoting more traditional windows forms as are present in the village such as casement windows with traditional frames or mullion windows.

4.7.15.   Driveways should be treated with permeable materials such as gravel to allow for water drainage and avoid extensive hard landscaping.

Boundaries

4.7.16.   Original property boundaries such as hedges, fencing or walling should be retained or reconditioned wherever possible, especially in the case of traditional, old stone garden walls.

4.7.17.   The village presents a variety of boundary treatments such as stone garden walling or low timber fencing in the older, historic core of the village, as well as brick or tall timber fencing in the newer areas of the village. The material choice for boundaries in any new development should be informed by the existing styles in the village and be appropriate to its context.

Materials

4.7.18.   Material selections for development should minimise environmental impact, and should be locally sourced where possible to promote sustainable development.

4.7.19.   Materials and features should be used in a sensitive way that acknowledges the local and landscape context, as long as proposals do not inappropriately dominate nearby heritage or landscape assets, or detract from the existing character of Edith Weston.

4.7.20.   Any extensions or ancillary buildings should follow the same material and treatment as the existing building and should not distract or overshadow the main building.

Housing types

4.7.21.   Homes should be flexible and adaptable to people's changing needs, especially as they get older. New homes within Edith Weston are expected to be designed in a manner that is inclusive and accessible to people of a wide range of abilities.

4.7.22.   New homes within the village of Edith Weston should seek to be socially inclusive and integrate with the settlement, through accessible connections and contextual designs.

Collyweston tile roof

Thatched roof

Exposed red brick building

Rendered brick building

Typical stone building

Dressed stone building

Fig. 4.18   Materials in the village

4.8.   Plot subdivision. Layout & Orientation

4.8.1.   The main opportunity plots in the village are single houses on large corner plots either in the conservation area or the newer housing developments to the east and west of the Core Village.

4.8.2.   The historic core of the village along Well Cross forms a tight enclosure with a direct relationship to the road, either through boundary garden walls to small front gardens or the building fabric itself. Houses are entered directly from the street, front entrances are clearly marked, and there is a difference between the formality of the front gardens and the privacy of the gardens to the rear.

4.8.3.   In the military housing area along Pennine Drive there are some larger single, detached houses with garden plots stretching along the street as opposed to being at the front or the back of the building.

4.8.4.   Most of the military housing is set back from the road with very large front gardens or drives. The semi-detached military houses along Pennine Drive and the School areas also have large front and back gardens that have potential for subdivision. The front entrances are clearly marked, and there is a difference between the formality of the front gardens and the privacy of the gardens to the rear.

Guidance

4.8.5.   Subdivision of existing sites for development should only be supported if the built form of proposals allows for an appropriate siting, continuity of building line, and sensitive massing that protects and enhances local character, and avoids the destruction of existing trees and landscape features.

4.8.6.   Subdivision of historic building plots should be done sensitively in order to maintain the character of the historic areas of Edith Weston.

Layout

4.8.7.   Private gardens and amenity spaces should ideally be of simple, orthogonal and regular shapes where possible to maximise usable area, avoiding the use of complex, narrow and convex areas.

Boundaries

4.8.8.   Boundaries between private, public and shared spaces should be clearly defined with appropriate thresholds that provide an appropriate level of overlooking in relation to the use of the space.

4.8.9.   The boundaries of private spaces should be softened by the use of landscaping, hedging and greenery where possible and in preference to wood panelling. Stone wall boundaries are frequent in Edith Weston and would be supported as an appropriate boundary treatment in new developments.

Listed buildings and conservation areas

4.8.10.   Any development within a conservation area or in relation to a listed building must take into account the following:

· The Planning (Listed Buildings & Conservation Areas) Act 1990 Preserving or enhancing special architectural or historic interest (listed buildings and conservation areas) Special Duties for Listed Buildings and Conservation Areas (Sections 16, 66 and 72).

Types of opportunity plots:

· Single house on large corner plot

· Larger conservation area corner plot

Single house large corner plot character

4.8.11.   In the military housing area along Pennine Drive single houses sit comfortably in very generous plots of open space.

4.8.12.   The boundary treatment is frequently soft landscaping or tall timber fencing that enclose small gardens, proportionate to the size of the houses.

4.8.13.   The height of detached houses is up to two storeys.

Guidance

The following guidance applies strictly to the single house plots character typologies.

4.8.14.   Some plots are large enough to be split in two; in this case the new development should face the street, in keeping with the detached house character in Edith Weston.

4.8.15.   The remaining garden spaces for both existing and the new development should be of usable size, proportional to the plot.

4.8.16.   The boundary between dwellings on a subdivided plot should take the form of native hedgerows or timber fencing and the privacy for the new dwellings should be considered through the careful design of its façade.

4.8.17.   Appropriate pedestrian and cycle access to the new dwelling must be ensured and opportunities should be sought to ensure vehicle access wherever possible.

4.8.18.   Off street parking should be provided for any new dwelling on a subdivided plot where possible.
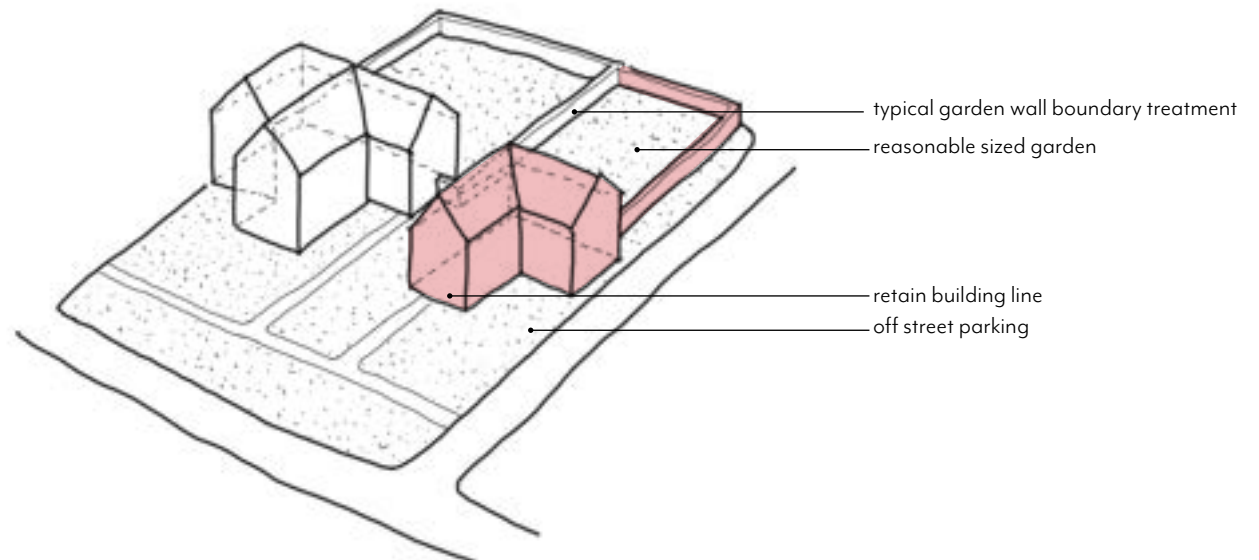

typical garden wall boundary treatment
reasonable sized garden
retain building line
off street parking

Fig. 4.19   Principles for subdividing single house large corner plots

Larger conservation area corner plot character

4.8.19.   Typically these are postwar terraced or semi-detached housing typologies. These may be set back from the street by a large front garden and they may have large back gardens that create long plots with infill development potential.

4.8.20.   The boundary treatment to the street and between plots is typically soft landscaping.

4.8.21.   The height of the existing buildings does not exceed 3 storeys.

Guidance

The following guidance applies strictly to the deep housing plots character typologies.

4.8.22.   New developments should not block existing views towards surrounding countryside

4.8.23.   New dwellings on subdivided plots should occupy a smaller footprint, and should read as subordinate to main existing building.

4.8.24.   The boundary between dwellings on a subdivided plot should take the form of native hedgerows or stone walling; the privacy for the new dwellings should be considered through the careful design of its façade.

4.8.25.   Appropriate pedestrian and cycle access to the new dwelling must be ensured and opportunities should be sought to ensure vehicle access wherever possible.

4.8.26.   Off street parking should be provided for any new dwelling on a subdivided plot where possible. Where off street parking is not possible, adjacent or nearby on street parking must be available.
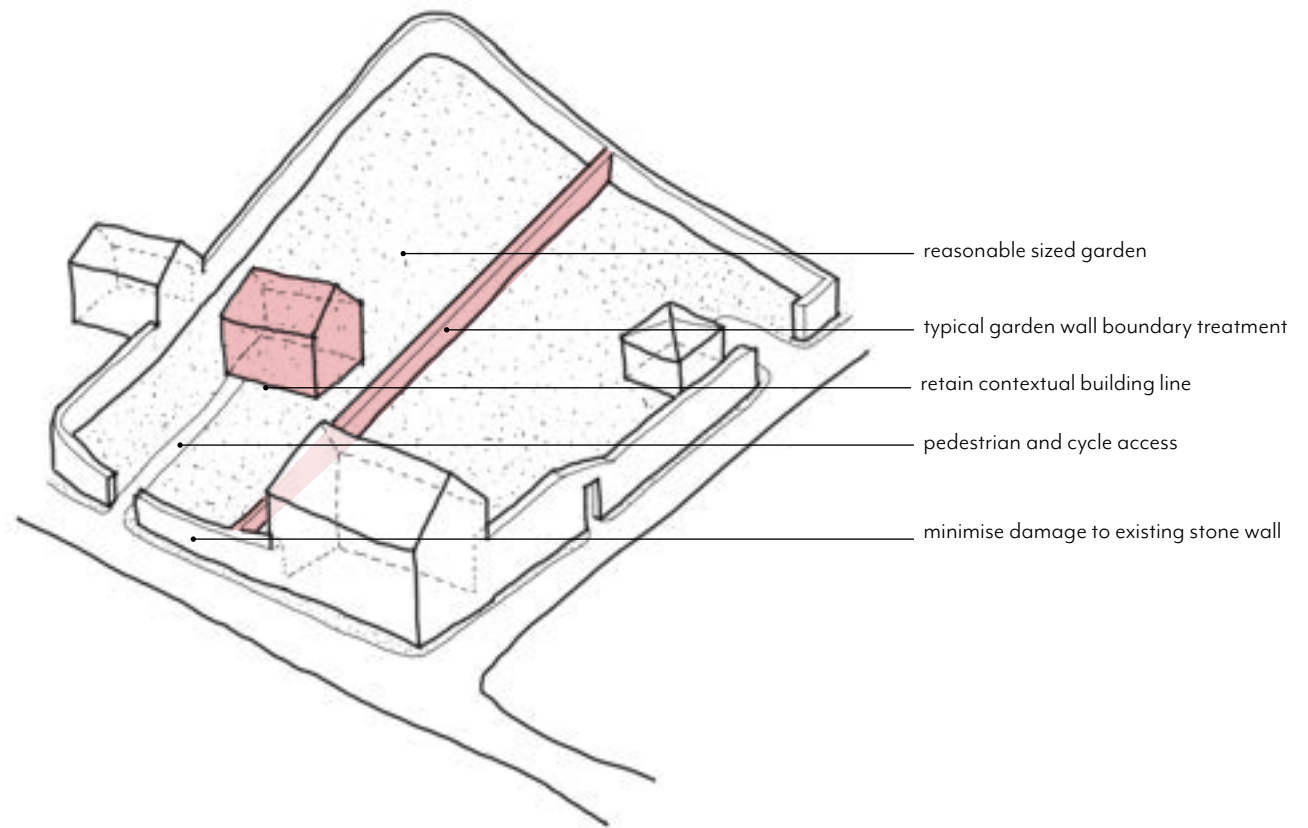

reasonable sized garden

typical garden wall boundary treatment

retain contextual building line

pedestrian and cycle access

minimise damage to existing stone wall

Fig. 4.20   Principles for subdividing large corner plot

Precedent: Temple Gardens, Somerset.

Referencing historic buildings

An example of how infill development can be sensitively accommodated within an existing village with heritage elements. Here a series of residential terraces provide frontage onto an existing street.

The new buildings adopt appropriate and traditional materials and forms and combined these with contemporary high-quality detailing to successfully integrate into the surrounding context without direct imitation.

Existing

Proposed

4.9. Density Studies

4.9.1.   Density is an important consideration in reducing reliance on private cars and on creating walkable neighbourhoods. A flexible approach to density, reflecting the desirability of using land efficiently is linked to impacts on climate change.

4.9.2.   Residential densities should be planned to take advantage of proximity to activities or to good public transport networks linking those activities. *Better Places to Live: By Design* advises that a certain critical mass of development is needed to justify a regular bus service, at frequent intervals, which is sufficient to provide a real alternative to the car.

4.9.3.   Compact but substantial residential and business communities within easy walking distance of a neighbourhood centre are the principal platform for sustainable development.

4.9.4.   While many planning documents emphasise the benefits of higher density developments, new developments must also consider their context and ensure the local character is protected by promoting high quality design.

Density measurement methods

4.9.5.   Housing density can be measured in one of three ways:
- Number of inhabitable rooms
- Quantity of floor area (in sqm)
- Number of dwellings per hectare (DPH)

4.9.6.   Dwellings per hectare (DPH) is the most widely used density measure nationwide and the measure used in this document. However, this density measure does not distinguish between large or small dwellings and can be misleading when building typologies of the measurement area are not consistent.

Edith Weston densities

4.9.7.   Existing densities in Edith Weston are extremely low. The DPH gross densities of the three main development areas in the village do not vary much, only between 14-19DPH, however their characters and building typologies are very different.

4.9.8.   In the Eastern and Western Development areas there is a lot of unallocated, ambiguous open space that would not typically be designed as part of a new development. This drives down the DPH measurement significantly.

4.9.9.   The Core Village measurement area has a wide variety of dwellings, from terraced houses to single houses with very large gardens. This disparity averages out into a DPH measurement similar to that of the newer areas of development.

Development Sites sustainable principles

4.9.10.   The current RCC Local Plan policy CS10 on housing density requires developments in villages settings to achieve average densities of 30DPH. Applied in the context of the potential SGB site development, this density can allow for substantial private gardens, good levels of communal open space, and good levels of car parking for every dwelling, while also providing a population that can support amenities such as shops, schools, health centres and workplaces.

Easter Development building typologies

Core Village building typologies

Fig. 4.21   Building typologies in the village

4.9.11.   The Officer's Mess and School sites, if they come forward, should be developed at the minimum density required by the RCC's Local Plan valid at the time of development. Currently this stands at 30DPH, a density that provides a minimum of critical development mass while being sensitive to the character of the village, especially on these two sites that are adjacent to the Edith Weston Conservation Area.

4.9.12.   Unfortunately AR Urbanism does not have the benefit of a transport consultancy input on this document. The addition of between 100-140 dwellings on these two development sites is likely to have an impact on the existing traffic issues in the village and should be mitigated.

4.9.13.   On the other hand, the introduction of SGB, if it goes ahead, will require major interventions to significantly improve traffic in Edith Weston.

4.9.14.   Any new development proposal on either the Officer's Mess, the School site or any other development site in and around Edith Weston must include an assessment of the impact of development upon existing or planned infrastructure and of any new infrastructure required. To this end it would be essential for the developer to employ the services of a transport consultant and satisfactorily resolve all transport issues arising from increased housing numbers.

3.5ha
53 dwellings
Core Village 15.1 DPH

7.1ha
118 dwellings
Western Housing Development 16 DPH

5.28ha
90 dwellings
Eastern Housing Development 17 DPH

Fig. 4.22   Edith Weston village gross density and tissue studies

5   Design Codes. Development Sites

5.1.   Planning Context

5.1.1.   At the time that ARU prepared this report the consultation on the Local Plan Review had concluded and the draft had been submitted to the Government inspector. In preparing the Local Plan, Rutland County Council allocated sites for new housing, employment and/or other development required to meet the Plan's goals. The withdrawal of the Plan as a result of the Special Council Meeting on 1st of September invalidates these allocations. However, it is possible that the new Local Plan Review will reallocate the same sites again.

5.1.2.   The Strategic Housing and Economic Land Availability Assessment (SHELAA) Report was carried out by Rutland County Council in 2019. Through the SHELAA process the RCC identified and assessed three development sites in Edith Weston: the Officer's Mess and St George's Barracks site.

5.1.3.   Additionally, Rutland Council's Housing Infrastructure Fund bid application proposed the redevelopment of the current Edith Weston Primary School site once the school is relocated within the St George's Barracks development site. This site is not currently available and it is dependent on the delivery of a new school on the St George's Barracks development site.

5.1.4.   Of the three sites assessed as part of SHELAA, only two were deemed suitable, The Officer's Mess (SHELAA/EDI/03) and the St George's Barracks (SHELAA/EDI/04). The Yews development site (SHELAA/EDI/02) was deemed unsuitable for development at this round due to its greenfield classification.

5.1.5.   St George's Barracks development site was deemed suitable by the 2019 SHELAA and steps have been taken towards its realisation, as summarised above, in section 1.4 of this report. The masterplan and guidance for the SGB site is outlined in the annexed document, *St George's Barracks Masterplan Guidance and Design Codes*.

5.1.6.   The Edith Weston Design Code seeks to consider sites that may be advanced into the five years supply of deliverable sites by Rutland Council over the new Plan period and formulate concept guidance for their potential development.

5.1.7.   The rejection of the HIF funding by the RCC raises viability questions over the SGB and the School development sites, however this report assesses these sites in order to formulate guidance in the eventuality that these sites do become viable for development at a later time under the new Plan period.

5.1.8.   This assessment is based on contextual and townscape analysis undertaken by AR Urbanism and presented in Chapter 3 of this report.

Precedent: Lovedon Fields, Hampshire
Development in rural context

Lovedon Fields is a housing development on the edge of Kings Worthy village that provides 50 site-specific residential units designed with the landscape, ecology, culture and local community in mind.

Precedent: Angmering Village Masterplan, West Sussex
Development in rural context

A residential masterplan for the edge of Village site in Angmering, West Sussex accommodating 18 new dwellings. The masterplan provides a variety of sustainable two, three and four bedroom house types. Houses were designed in a modern vernacular style, using local brick and clay tile along with contemporary materials such as slate and zinc.

The masterplan creates a comfortable and organic layout, with all existing mature trees retained to the entrance and perimeter areas in order to complement the rural character and feel of the development.

There is a generous green amenity space provided at the front of each house and each house also provides a generous back garden. Strategically concealed parking and the use of shared pedestrian and vehicle surface mean that the rural feel of the plot is maintained. Views to and from the new scheme are carefully controlled, to respect and enhance the green surroundings.

5.2. Development Sites

5.2.1.   The strategic layout of new places should follow the principles of sustainable development - maximising opportunities for residents to live healthy lifestyles, while minimising their carbon footprint.

5.2.2.   The orientation of buildings and plots and the layout of streets and spaces should create visual and physical connections to the surrounding landscape and built environment.

5.2.3.   Development should respond positively to the character of the site and its environmental opportunities and constraints.

Good Urban Design principles

5.2.4.   Every new development should follow the key design principles and objectives of good urban design. These work together to enhance the physical character, nurture and sustain a sense of community and work to positively address environmental issues affecting the climate.

5.2.5.   These individual characteristics are summarised in the National Design Guide as follows:

- **Context** - design a place that enhances its surroundings
- **Identity** - design an attractive and distinctive place
- **Built form** - design a place with a coherent pattern of development
- **Ease of movement** - design a place that is accessible and easy to move around
- **Nature** - design a place that enhances and optimises its natural environment

- **Public space** - design a place with safe, social and inclusive public spaces
- **Uses** - design a place with mixed and integrated uses
- **Homes and buildings** - design a place whose buildings are functional, healthy and sustainable
- **Resources** - design a resilient place that uses resources efficiently
- **Lifespan** - design a place made to last

5.2.6.   For these principles and objectives to be achieved, the built form of any new development in Edith Weston should observe the following guidance.

Development location and type

5.2.7.   New development should be focused around the village of Edith Weston.

5.2.8.   Development proposals must promote an appropriate density that supports efficient land use while protecting and preserving the rural character of Edith Weston.

5.2.9.   Developments should support improvements to the infrastructure of Edith Weston to mitigate the impact of development and generate wider social value for the rest of the community.

5.2.10.   Proposals for sites with existing buildings on should explore the opportunities for reuse, extension or alteration of the existing buildings over demolition and redevelopment wherever possible.

Contextual Design

5.2.11.   Developments should be sensitive to their local context, and be informed by an in-depth analysis and understanding of the site and of the surrounding area.

5.2.12.   Development should protect and preserve the rural aspect of Edith Weston and take particular care to maintain the tranquillity of the parish.

5.2.13.   Any proposals for developments of multiple buildings should be subject to a masterplan developed in consultation with the local community, and should demonstrate a strategic approach to design.

Density & Mix

5.2.14.   Every new development should demonstrate an in-depth understanding of the principles of sustainable development and the delicate balance required to achieve higher density developments with sensitive and high quality design that does not negatively affect the local rural character of Edith Weston.

5.2.15.   If done well, imaginative design and layout of new development can lead to a more efficient use of land without compromising the quality of the local environment. The density of existing development should not dictate that of new housing by stifling change or requiring replication of existing style or form.

5.2.16.   Larger developments should provide a range of building types that can be flexible and meet the needs of the community while adding variation to Edith Weston's townscape.

Layout

5.2.17.   Any new development should contribute to the creation of a connected and accessible street network that promotes walkable neighbourhoods for people in and around the village.

5.2.18.   Most homes have a public 'front' with the front door, the hall and perhaps a living space, and a private 'back'. where the more private bedrooms and bathrooms are located. Layouts that put the backs facing the backs of other homes, and fronts facing other fronts should be encouraged in order to keep noise and activity to the front, and peace and privacy to the back.

5.2.19.   Development should seek to improve inclusive access by making streets safer for pedestrians and vulnerable users, including the elderly, disabled and children.

5.2.20.   Wind and solar studies should be used to inform the orientation of buildings and plots, and the size and location of openable windows.

5.2.21.   All new development should be easily accessed by pedestrians and cyclists via designated routes that connect with existing routes to the village, wider landscape and adjacent plots.

5.2.22.   The layout design should ensure adequate daylight and sunlight reaches internal living spaces, while optimising natural cross ventilation to minimise the risk of overheating.

5.2.23.   New development layouts should be designed to avoid small areas of unused grass or asphalt between homes or at junctions that are not properly faced by homes, do not fit together, are inefficient or illogical.

Precedent: Carrowbreck Meadow, Norfolk

Responding to site and local character

A development of 14 Passivhaus homes in Norfolk. The buildings have been carefully grouped to sit comfortably in the woodland setting. Mature trees have been incorporated into the design.
Boundaries between buildings and their surroundings are subtle and the development's edges are marked with soft landscaping to ensure the integration of the buildings into their surroundings.

5.2.   Development Sites

Green infrastructure

5.2.24.   Any proposals for large developments should provide a masterplan that incorporates a wider green infrastructure framework, demonstrate how proposals will be landscaped in a manner that best integrates with the existing landscape and ecology of the parish.

5.2.25.   As a rural parish, measures should be taken to conserve the landscape and natural assets of Edith Weston such as the owl nests found in the fields adjacent to the Rutland Sailing Club. Any development that damages existing habitats and ecosystems should not be tolerated.

5.2.26.   Given the rural setting of Edith Weston, all proposed developments should deliver a biodiversity net gain in excess of the required level set out by national policy.

5.2.27.   Any new development should seek opportunities to improve flood resilience and biodiversity of existing green open spaces through sensitive planting and landscaping where this enhances the general amenity of the space.

5.2.28.   The continuity and connection of hedgerows, woodland and other habitats should be protected and promoted where possible to support the creation of 'wildlife corridors' that connect across human activities and structures, including large open field patterns, roadways and developments.

5.2.29.   Developments should incorporate green infrastructure where possible that provides opportunities for wildlife, public access and climate change adaptation with the use of substantial and appropriate landscape, such as native woodland planting, earthworks, 'wild' verges, ditches and green roofs.

5.2.30.   Given the adjacency of the village to the St George's Barracks site, any developments should encourage linking the green network of Edith Weston beyond through to the SGB site.

Village edges

5.2.31.   Any new development should be sensitive to and where possible enhance the character of the views of the village from across surrounding open fields and hills.

5.2.32.   Proposed developments should be designed in a way to protect and promote the clearly identifiable separation between the built-up area of Edith Weston and the countryside. Where homes back onto open countryside, their boundaries should be softened by the use of hedgerows and landscaping to create a green transition to the surrounding landscape and reduce the visual impact of new buildings.

5.2.33.   While development sites such as the School and the Yews are part of the village, the SGB site is located outside the Edith Weston development area. Any new development located on Pennine Drive forms an edge of the village towards the SGB site should be carefully designed to prevent visual coalescence between the village and the SGB development.

Permeable block paving in different colours and planting to define spaces for parking

Swales for water retention and natural flood management

Fig. 5.1   Examples of SuDS

Planting

5.2.34.   Existing hedgerows and mature trees should be retained, maintained and enhanced where they appear in new developments, and used to inform the structure, layout and character of the site's design.

5.2.35.   Opportunities to increase tree coverage within Edith Weston's streets and spaces should be supported where appropriate, and consideration should be given to succession planting of existing trees to ensure the continuity of Edith Weston's landscape character.

Flood risk management

5.2.36.   Flood risk within the parish should be managed through the control of surface water runoff and the proper maintenance and protection of the natural water cycle. This includes the incorporation of appropriate flood attenuation systems, where required, as part of a wider green infrastructure framework. Landscaping should not contribute to flood risks through the use of extensive hard landscaping.

5.2.37.   Any new development should seek opportunities to incorporate SuDS (Sustainable Drainage Systems) where appropriate, following best practice design and construction as set out by the Anglian Water SuDS guidance and the National SuDS Code of Practice.

Precedent: The Avenue, Saffron Walden

Retaining landscape features in development

A 76 mixed units housing development, The Avenue responds sensitively to its matured landscape context, within a Conservation Area and adjacent to a listed water tower. The heart of the scheme is the retained avenue of mature lime trees, The Avenue. The homes here are arranged around courtyards behind a new garden wall, or are set back beyond grassed and planted verges. The new landscaping includes relocated native hedgerows, planted fruit trees from existing rootstock on the site, and the retention of most mature trees.

5.2. Development Sites

Scale

5.2.38.   New development should be informed by the scale, form and massing of the existing vernacular domestic and agricultural buildings.

5.2.39.   The size of any new proposed building should be considered in relation to its surroundings, the height of new buildings can determine the impact of development on views, vistas and skylines and should be carefully considered.

5.2.40.   The massing of a building, understood as the combined effect of the arrangement, volume and shape of a building or group of buildings in relation to other buildings and spaces, should be carefully considered.

Open space and views

5.2.41.   New buildings around green open spaces, or located at prominent junctions, should be of exceptional design quality and contribute to the articulation of clearly defined streets and spaces by considering their frontage, mass and built form.

5.2.42.   New developments should not impede the characteristic existing views out of the village into the countryside and beyond, such as the southern and eastern views towards the Chater river valley and the western views towards the Lyndon brook valley.

Parking

5.2.43.   New developments should provide appropriate levels of car parking, in convenient yet unobtrusive locations.

5.2.44.   Parking should be designed and managed in a way to reduce the dominance of cars in the street scene, however, well-landscaped, parallel-parked cars on the street are preferable to parked cars in front curtilages of houses.

5.2.45.   Unallocated on-street parking provides flexibility of use allowing for residents and visitors to have access to a range of spaces. On-street parking is also an efficient use of land and can reduce the overall amount of parking required.

5.2.46.   Where off-street parking is provided, this should be to the rear or side of the development and not impede movement along the public footway.

5.2.47.   On-site parking spaces should use a permeable ground cover to increase natural drainage of rainwater.

5.2.48.   Any new development must provide disabled parking in an adequate number and appropriate design as required, in accordance with Rutland's Transport Strategy.

5.2.49.   Traffic calming strategies should be encouraged such as raised junctions, road humps, visible markings and signage, coloured surfacing or pinch points.
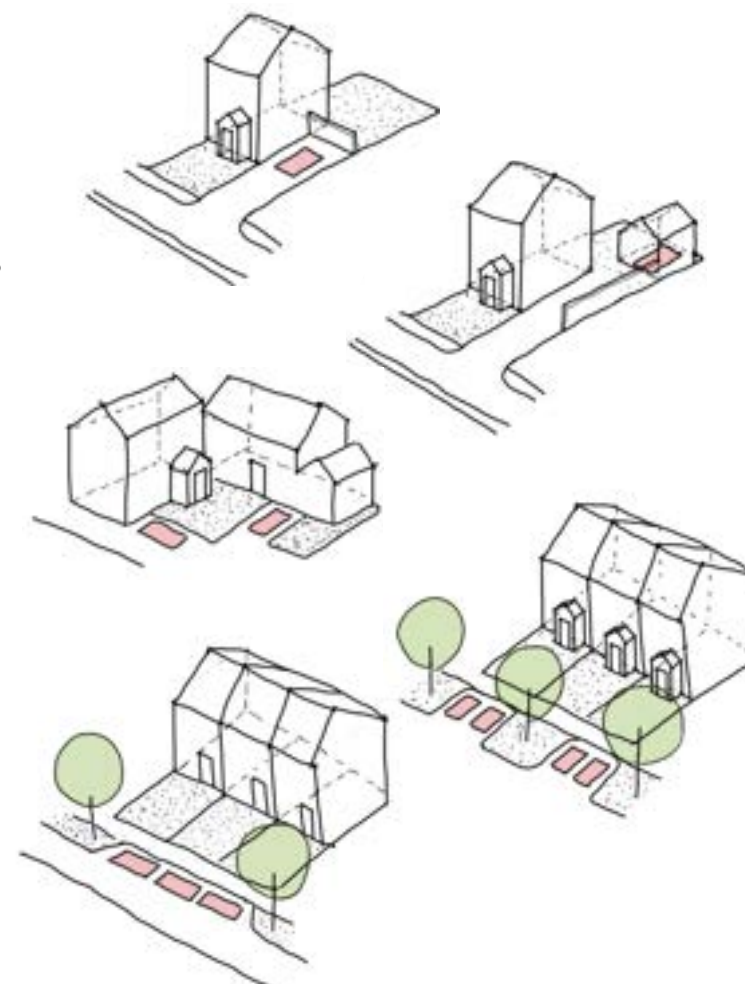

Fig. 5.2   Residential Car Parking typologies

Building frontages

5.2.50.   Along streets, new and existing frontages should follow the same orientation of the existing building line to provide a sense of continuity between new and existing places.

5.2.51.   Where green spaces are provided within new development, buildings should front onto these to animate these and provide passive surveillance.

5.2.52.   Long areas of blank building frontage can feel unsafe and should be avoided. Blank gable end walls should be avoided, particularly at important junctions or facing public spaces.

Appearance

5.2.53.   The materiality, detail and fenestration of new buildings should reflect the rich local material palette of Edith Weston. A site wide material strategy should explain how local materials have informed the palette of elevations, paving, public realm areas, planting strategy and roof scape.

5.2.54.   New development should take inspiration from the material palette on page 43 (section 3.4.) and use locally sourced materials where possible to help reduce embodied carbon.

Precedent: Woodside Square, Muswell Hill

Referencing historic buildings

Woodside Square is a development of 159 units in the suburb of Muswell Hill, clustered around a series of converted listed buildings on the site of the former St Luke's hospital. The materiality, details and fenestration of the new buildings was heavily informed by the heritage of the site and that of the existing listed buildings.

The Officer's Mess Development Site

Site reference: SHELAA/EDI/03

Site Area: 3.95ha

Brownfield/ Greenfield Status: Brownfield

Current Use: Barracks

Use Promoted: Residential

5.2.55.   The buildings are still currently in use as their original Mess function by the military that is still active in the adjacent St George's Barracks.

5.2.56.   The site is located at the junction between Manton Rd and Edith Weston Rd, two busy roads that carry significant amounts of traffic to and from the Rutland Water car park in Normanton.

5.2.57.   The site is adjacent to the village Conservation Area and opposite the historic Wheatsheaf Pub. It also bookends the view south along King Edward's Way. from Well Cross, the medieval Village Cross which is a Scheduled Monument, and from nearby St Mary the Virgin Church.

0 10 20   50   100m

Fig. 5.3   Officer's Mess site aerial view
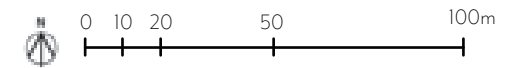
5.2.58. The existing buildings on site are one-two storeys high military buildings dating from the 1930s. To the north east corner towards the roundabout there is a tall element that rises to four storeys high.

5.2.59. The topography of the site falls approximately three meters to the south and west and creates sweeping views towards the towards Lyndon Brook Valley , the Chater Valley and the villages Lyndon, Pilton and North Luffenham.

5.2.60. The north and east edges of the site are lined with mature trees and hedgerows that act as buffers to the traffic on Manton and Edith Weston Roads. Additionally the site is currently surrounded by a tall wire fence for military security purposes.

5.2.61. The site has two existing points of access, one on Manton Rd and one on Edith Weston Rd, monitored by the MOD and protected by electric gates. Both entrances are currently in low use due to the reduced activity in the SGB.

5.2.62. Historically Manton Rd to Edith Weston Rd.were connected by a Public Rights of Way footpath crossing the site. This was removed when the Officer's Mess was built.

Fig. 5.4   Officer's Mess site analysis

Key

■ Existing buildings	- - - Historic Rights of Way	⟷ Site access
▢ Existing roads	■ Existing trees and hedgerows	— Site boundary

Guidance

Potential density: in accordance with RCC's density guidelines
Number of dwellings: as above, of which 30% affordable

5.2.63.   Any new development on this site should create permeable routes which re-establish the historic Public Right of Way access across the site connecting Manton Rd and Edith Weston Rd. This can be along pedestrian footways alongside streets or separately.

5.2.64.   The views out of the site are important characteristics of this site and any new development should capitalise on the potential for long view shafts across the site and into the Lyndon valley to the south and west of the site.

5.2.65.   The location of the Wheatsheaf pub and the historic core to the north of the site offers the possibility of the Officer's Mess development contributing positively to the reconnection of the Edith Weston village core to the surrounding landscape. Any development on this site should attempt to create clear north-south views across the site.

5.2.66.   Any proposal for development on this site should demonstrate that the design preserves as many mature trees and existing hedgerows as possible.
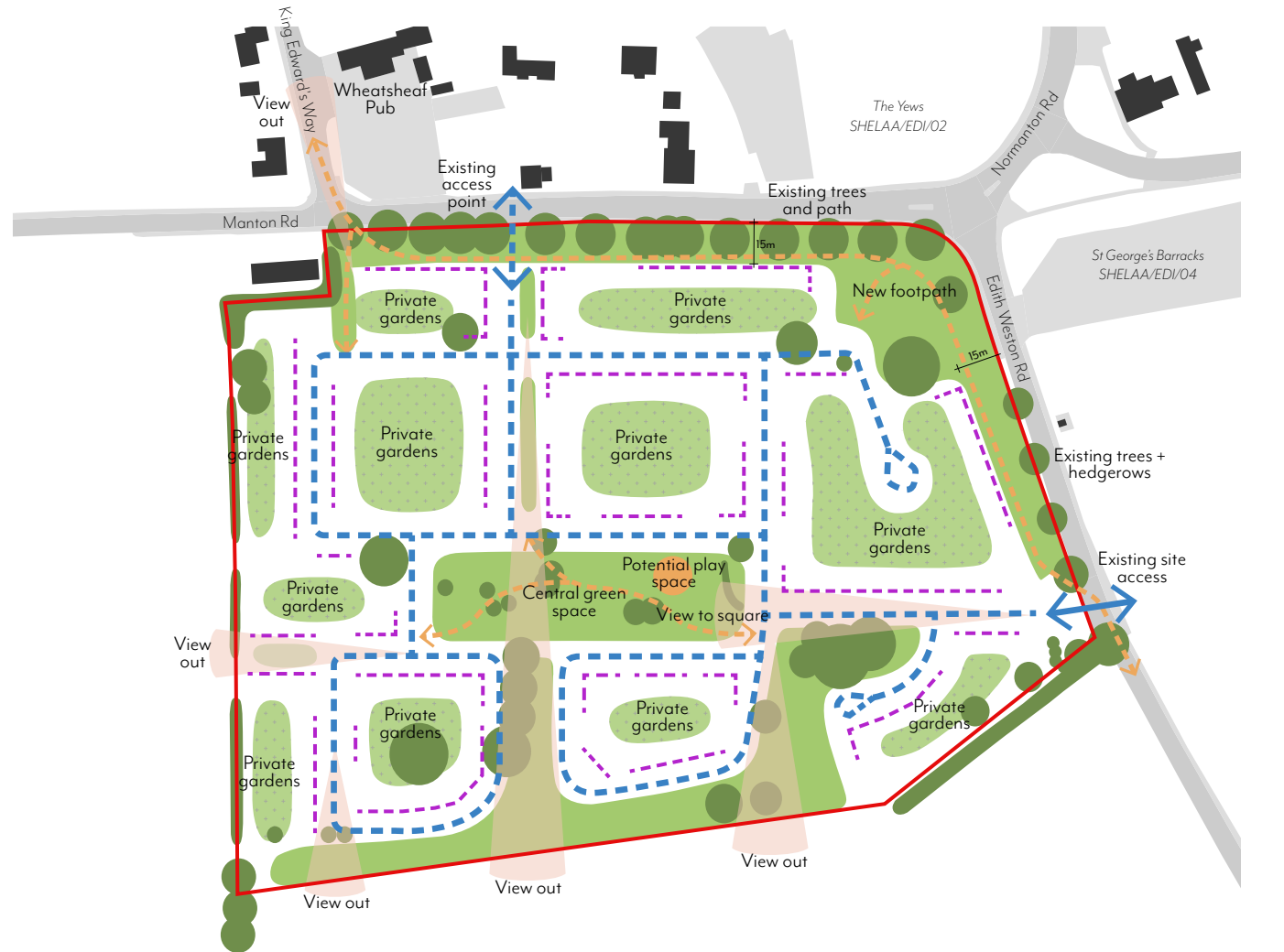
Fig. 5.5   Officer's Mess site development concept plan

Key

- ⬛ Existing buildings
- ⬜ Existing roads
- ↔ Site access
- - - - Potential vehicle route
- —— Existing pedestrian route
- - - - Potential pedestrian route
- - - - Potential building frontage line
- ⬛ Existing trees and hedgerows
- ⬚ Potential private gardens
- ⬚ Potential public greenery
- —— Site boundary

5.2.67.   The site's military history should be reflected in the strategic design of any potential development, through a consideration of a grid-based layout and rationalisation of the existing military buildings.

5.2.68.   Every new dwelling should have access to a private gardens area.

5.2.69.   Any new development on this site should carefully consider the visual impact of the site from important view points around the parish. To this end, the groups of buildings facing the edges of the development should be broken up by green spaces and trees.

5.2.70.   The existing green edges to the north and east of the site should be preserved as a buffer between the new development and the traffic on Manton Rd.

5.2.71.   The corner next to the existing roundabout should be developed into a larger open space to act as an attractive pedestrian access point into the new development, buffer the new development from the junction traffic and relate to the proposed buffer and open space areas to the north and west of the potential SGB proposal.

5.2.72.   Any new development proposal should be accompanied by further research into the suitability and safety of the Manton Rd (and any other) site access point. To this end, it is essential that a transport consultant forms part of the design team of any new development put forward for this site.

St Mary the Virgin Church   Officer's Mess

Officer's Mess site view from Lyndon Rd

Officer's Mess site access point from Manton Rd and green buffer

Officer's Mess site access point from Edith Weston Rd

Fig. 5.6   Views of Officer's Mess Development Site

The School Development Site

Site Area: 1.6ha

Brownfield/ Greenfield Status: Brownfield

Current Use: School

Use Promoted: Residential

5.2.73.   Development on this site is conditional on the provision of a new school building as part of the St George's Barracks development.

5.2.74.   Location of this site offers the potential of views across to the south towards Lyndon Brook valley above the existing hedgerows that line the southern edge. Due to its elevated location it also offers good views to the north towards Rutland Water.

5.2.75.   To the east of the site the glebe land is criss-crossed by a series of footpaths that connect the school area to the village core area to the east.

5.2.76.   The edges of the site are lined with hedgerows and mature trees. These act as buffers from the heavy traffic on Manton Rd on the southern edge of the site.

Fig. 5.7   School site aerial view

Key
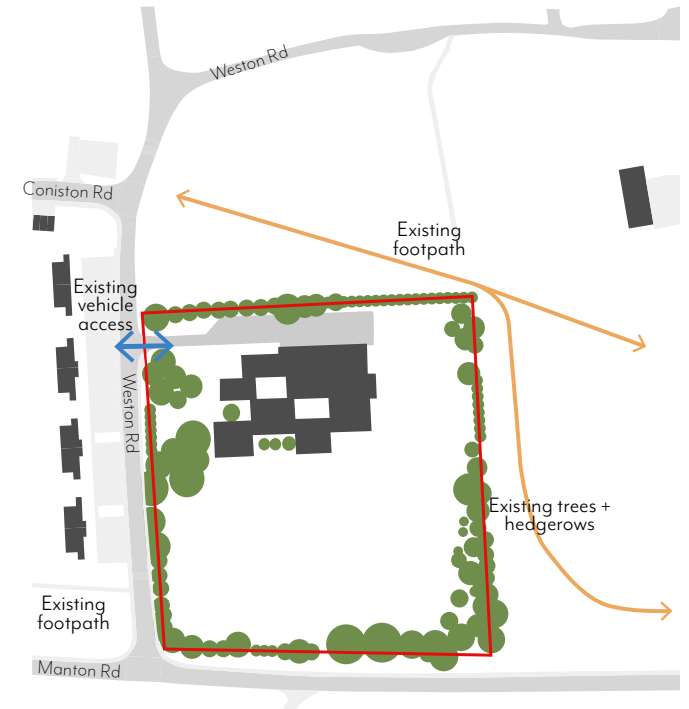
- Existing buildings
- Existing roads
- Existing pedestrian route
- Existing trees and hedgerows
- Site access
- Site boundary

Fig. 5.8   School site analysis

94

Guidance

Potential Density: in accordance with the RCC density guidelines

5.2.77.   Potential development should be houses which include the provision of generous private gardens. Additional green public space is provided around the edges of the site, connecting to the existing footpaths across the glebe land.

5.2.78.   Proposals for this site should ensure that vehicle access routes do not create dead-end streets or cul-de-sacs, but allow for slow but convenient vehicle movement across the site.

5.2.79.   Any new development on this site should retain as many existing trees and hedgerows as possible.

5.2.80.   The planting of new trees is encouraged wherever it would contribute to an improvement of the development's environment.

5.2.81.   The adjacency of the site to the glebe land to the east should be considered by any proposal for this site through the provision of a series of new footpath connections across the eastern edge of the site and into the existing footpaths leading to the village core.

5.2.82.   The buffer area to the south should be strengthened with additional publicly accessible open green space. Children's play space should be provided ar appropriate locations.

5.2.83.   Further research into the suitability and safety of the Weston Rd site access point must be carried out as part of any planning application for this site. To this end, it is essential that a transport consultant forms part of the design team of any new development put forward for this site.

Fig. 5.9   The School site development concept plan

Key

- Existing buildings
- Existing roads
- ↔ Site access

- - - - Potential vehicle route
- —— Existing pedestrian route
- - - - Potential pedestrian route
- - - - Potential building frontage line

- Existing trees and hedgerows
- Potential private gardens
- Potential public greenery
- —— Site boundary

6   References

Images

Page 6   Fig. 1.3   Map of 2014 Edith Weston Neighbourhood Plan Area © Rutland County Council

Page 8   Fig. 1.6   Map of Neighbourhood Plans in Rutland © Rutland County Council

Page 9   Fig. 1.7   The Anglican Church parish map © ChurchofEngland

Page 10   Fig. 1.8   Geology of the SGB site © British Geological Survey

Page 11   Fig. 1.9   Masterplan prepared by RegenCo © stgeorgesrutland.co.uk

Page 12   Fig. 1.10   Aerial view of Letchworth Garden City © Letchworth Garden City

            Fig. 1.11   Map of Garden Communities Programmes in England © gov.uk

Page 13   Fig. 1.12   Derwenthorpe Garden Village © The Joseph Rowntree Housing Trust

            Aylesbury Garden Town © Aylesbury Garden Town

Page 14   Fig. 1.14   The RCC Conservation Area plans in the region © Rutland County Council

Page 15   Fig. 1.15   Map of the village © Rutland County Council

Page 16   Fig. 2.1   View north from Gibbert Lane © Google Maps

Page 17   Fig. 2.2   Map of Landscape Character Areas in Rutland © Rutland County Council, David Tyldesley Associates

Page 19   Fig. 2.4   Detail map of Landscape Character Areas around Edith Weston © Rutland County Council, David Tyldesley Associates

Page 22   Fig. 2.6   Geological maps and section of the Edith Weston area © British Geological Survey

Page 23   Fig. 2.7   Section of the geological map of the British Isles © British Geological Survey

Page 24   Fig. 2.8   Part of the River Welland Catchment Area © Welland Rivers Trust

Page 25   Fig. 2.10   Main rivers and topography for Rutland County © Rutland County Council

Page 28   Fig. 2.13   The E2 European Long distance footpath © Wikipedia

Page 29   Fig. 2.15   The Grade II* Thor Missile Site at former RAF North Luffenham © Association of Air Force Missileers

Page 30   Fig. 3.1   Rutland County map © Rutland Local History and Record Society

Page 32   Fig. 3.3   Roman map of Rutland © Rutland Local History and Record Society

Page 33   Fig. 3.4   Anglo Scandinavian map of England © G Bells and Sons, Atlas of European History, Earle W Dowe 1910

Page 34   Fig. 3.5   Normanton Church © Locationscout

            Fig. 3.6   St Mary's Church © Leicestershire Churches

Page 39   Fig. 3.13   Map of local footpaths © Ramblers Association

Page 40   Fig. 3.15   The three storey Old Coach House © Google Maps

            Pennine Drive detached houses © Google Maps

Page 42   Fig. 3.17   Western entrance to the village © Google Maps

            Gibbet Lane, lost connection to Hambleton © Google Maps

Page 46   Fig. 3.21   Medieval village cross stump © IoE Mr Roger Ashleye

Page 47   Fig. 3.22   Rectory Lane, Makey's Close, Weston Road Character Area image © Google Maps

Page 48   Fig. 3.23   St Mary's Close Character Area image © Google Maps

            Fig. 3.24   Coniston Road Character Area image © Google Maps

Page 49   Fig. 3.25   Chiltern Drive Character Area image © Google Maps

            Fig. 3.26   Severn Crescent Character Area image © Google Maps

            Fig. 3.27   Officers Mess Character Area image © Google Maps

Page 50   Fig. 3.28   Rutland Bedrock Geology © British Geological Survey

Page 51   Fig. 3.29   Historic England Stone Slate Roofing Guide © Historic England

Page 65   Fig. 4.9   Military housing in Western Development © Google Maps

Page 69   Fig. 4.13   Edith Weston village building forms © Google Maps

Page 80   Fig. 4.21   Eastern Development building typologies © Google Maps

Page 86   Fig. 5.1   Permeable block paving image © Cheffins

            Swales for water retention image © City of Portland

Page 90   Fig. 5.3   Officer's Mess site aerial view © Google Maps

Page 93   Fig. 5.6   Views of Officer's Mess Development Site © Google Maps

Page 94   Fig. 5.7   School site aerial view © Google Maps

Page 96   Fig. 5.10   The Yews site aerial view © Google Maps

Precedents

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